



**MIXED-USE
AND
MULTIFAMILY

OBJECTIVE
DESIGN
STANDARDS**

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CITY OF
LIVERMORE
CALIFORNIA

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INTRODUCTION



PURPOSE AND GOALS OF THE MIXED-USE AND MULTIFAMILY DESIGN STANDARDS (MODS)

As the availability of housing across California and the nation has failed to meet demand and as concerns about housing affordability have increased, legislation to spur and incentivize residential development has increased dramatically. New laws passed in recent years require local governments to make decisions about housing development based on objective standards.

Recent changes in State law, including the adoption of Senate Bill 35 (2017), Senate Bill 330 (2019), and Assembly Bill 2011 (2022), require that for certain types of housing and mixed-use projects, jurisdictions may only consider objective criteria, and only those that are in place at the time a project application is filed. Objective standards are a key feature of the state's new streamlined approval processes to provide predictability for developers regarding what can be approved. The law requires that standards be stated clearly and be easily understood, leaving nothing open to interpretation.

The purpose of these Mixed-Use and Multifamily Objective Design Standards (MODS) is to guide the design of multi-unit and mixed-use housing in Livermore, and to ensure that new development is designed to be compatible with adjacent uses as well as existing and future development. It is also the goal of these standards to improve the quality of design and provide a clear and reliable pathway to project implementation. These standards are written to be "objective," as that term is used in State housing law.

WHO WILL USE THE MODS?

Architects, Designers, Developers, and Property Owners

- The MODS will provide clear design direction for new projects by identifying which architectural styles, building typologies, and universally-applicable design elements need to be incorporated into new Mixed-Use and Multifamily Residential projects in Livermore.

City Staff

- City staff will use the MODS to assist applicants and their representatives with project processing, and the MODS will serve as the basis for evaluating Mixed-Use and Multifamily Residential projects' design.

Review Bodies and Decision Makers

- The MODS will provide a basis for the Community Development Director, Planning Commission, City Council, and other review/decision-making bodies to assess a project application's design compatibility with City standards.

APPLICABILITY

The Mixed-Use and Multifamily Objective Design Standards (MODS) apply as follows:

- The MODS apply to all new mixed-use and multifamily residential projects with more than 10 residential units unless otherwise prohibited by State law.
- The MODS do not apply to additions, expansions, alterations, or remodels of existing residential buildings.
- Standards that apply to residential uses apply to both multifamily residential development and the residential portions of a mixed-use development.
- In the event that any objective standard is inconsistent among City of Livermore documents, the objective General Plan standards shall prevail, followed by the objective standards contained in an applicable Specific Plan, the Subdivision Ordinance, the Development Code, and the MODS, in that order. Furthermore, the requirements contained in Part 11 of the Development Code (Housing) prevail over other Parts of the Development Code.
- Unless otherwise directed by State law, Mixed-Use and Multifamily Residential projects subject to consistency with the MODS must also comply with:
 - the standards of the project's underlying Zoning District, the Subdivision Ordinance (if applicable),
 - other objective design and development standards within the Development Code, and
 - the objective standards contained in the General Plan and any applicable Specific Plan.
- The MODS should be used in concert with Part 11 of the Development Code (Housing). Part 11 contains several chapters that outline Livermore's requirements for streamlined housing review in accordance with State law. Eligibility for streamlined review often involves demonstrating compliance with the MODS.

SOURCE MATERIAL

The MODS were created using Livermore’s Design Standards and Guidelines document as a foundation. Typically, new residential development is required to be considered through the City’s discretionary design review process, which includes review for compliance with Chapters 6 (Residential) or 7 (Mixed-Use) of the City’s Design Standards and Guidelines.

Subjective standards may not be applied to projects that are eligible for streamlining under State law. The objective standards in the MODS aim to incorporate the intent of the Design Standards and Guidelines to the greatest extent possible, while providing standards that qualify as objective under State law.

Reference photos in the MODS are illustrative, not regulatory, and are not an exhaustive representation of applicable standards. In case of conflict between the text and a photo, image, figure, diagram, or graphic, the text controls.

USER'S GUIDE

The MODS includes the following key features:

Table 1 – Building Form and Architectural Style by Location.

The location of the project site will determine what combinations of architectural styles and building forms are available for the project.

Architectural Styles (Section 2)

These standards apply based on the chosen architectural style for the proposed project. This section includes both Mandatory Design Elements, which are required, as well as Variants and Details, which contain a menu of options to select from.

Building Forms (Section 3)

Different building typologies have different requirements. Each project must select a Building Form and follow the requirements of this section.

Frontage Types (Section 4)

The Building Form selected will determine the Frontage Types allowed. Each project must choose a Frontage Type and follow the requirements of this section.

Universal Objective Design Standards (Section 5)

Unless specifically stated otherwise, these apply to all Mixed-Use and Multifamily Residential projects regardless of density, height, building form, location, or style. Standards that are relevant to the City's Climate Action Plan strategies are denoted with this grape leaf symbol:



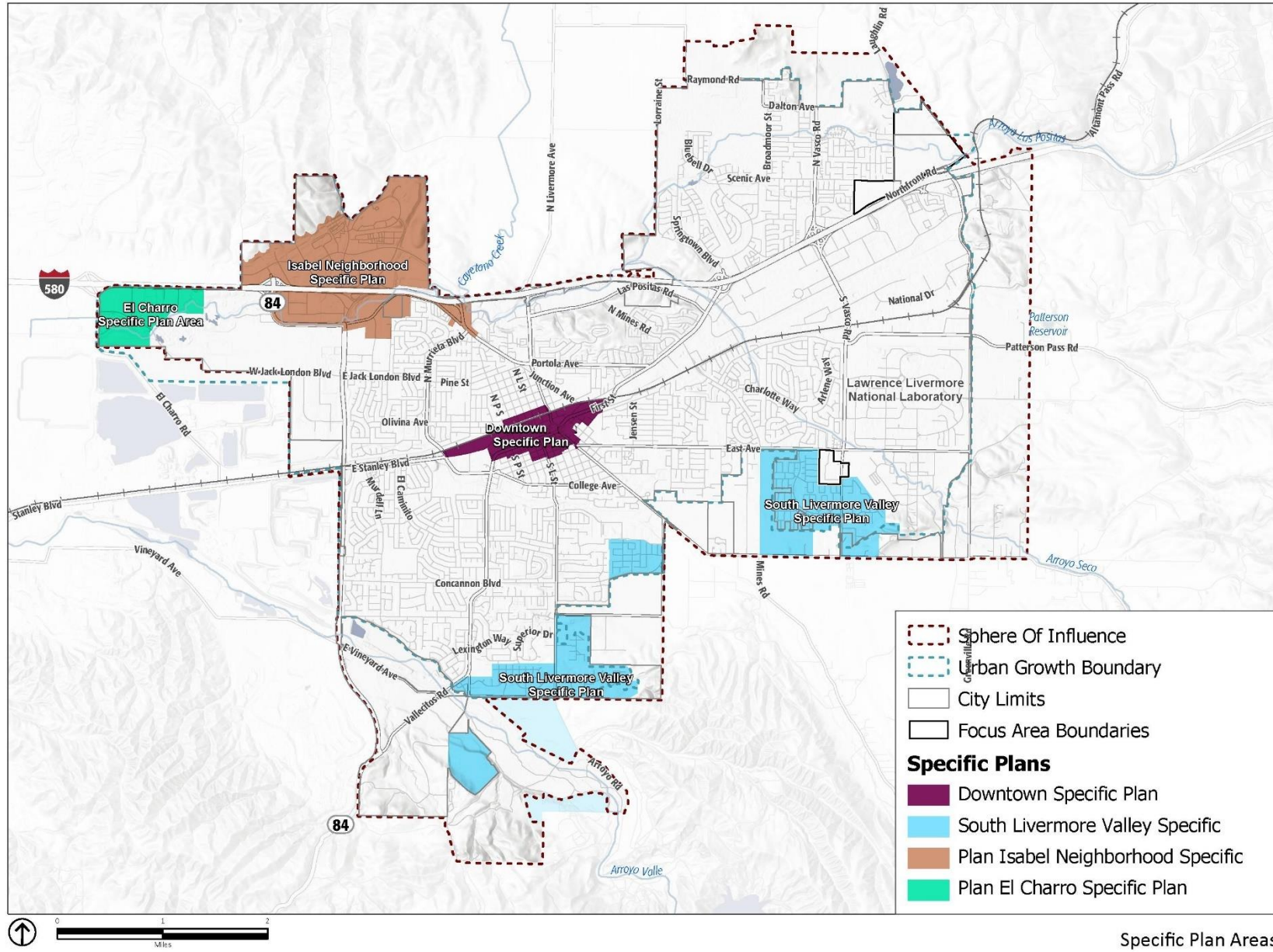
- 1 Identify the location of the property and determine if it is in a specific plan area or not.
- 2 Consult Table 1 and Figure 1 to determine what combination of Building Forms and Architectural Styles are available based on the location of the property.
- 3 Confirm that your desired building height works with the Building Form and Architectural Style you want to use.
- 4 Design your project to meet the standards for your chosen Architectural Style (Section 2).
- 5 Design your project to meet the standards for your chosen Building Form (Section 3) and Frontage Type (Section 4).
- 6 Design your project to meet all of the Universal Objective Design Standards (Section 5).

TABLE 1: BUILDING FORM AND ARCHITECTURAL STYLE BY LOCATION

		ARCHITECTURAL STYLES					
		Craftsman	Farmhouse	Prairie	Federal	American Mercantile*	Spanish Mediterranean
Height (stories)		Up to 3	Up to 3	Up to 3	2+	2+	3+
Allowed Locations							
	Isabel Neighborhood Specific Plan	★	★	★	-	★	-
	El Charro Specific Plan	-	-	-	-	★	★
	Downtown Specific Plan	★	★	★	★	★	★
	South Livermore Valley Specific Plan	★	★	-	-	-	-
	Future Specific Plans	★	★	★	★	★	★
	All other areas not identified above	★	★	★	★	★	★
Allowed Building Forms							
*	Podium	-	-	-	★	★	★
	Wrap	-	-	-	★	★	★
*	Commercial Block	-	-	-	★	★	★
*	Ground Floor Flex	-	-	-	★	★	★
	Garden	★	-	-	★	-	★
	Courtyard	★	★	★	★	-	★
	Motor Court	★	★	★	★	-	★
	Townhouse	★	★	★	★	-	-
	Triplex through Sixplex	★	★	★	★	-	-
	Duplex (Any variation)	★	★	★	★	-	-
	Bungalow Court	★	★	★	★	-	-
* Ground Floor Activation Required.							

Note: "Future Specific Plans" are those areas that are created as such after the adoption of these MODS.

FIGURE 1: EXISTING SPECIFIC PLANS



Source: City of Livermore, 2021; Esri, 2024; PlaceWorks, 2024

Specific Plan Areas

ARCHITECTURAL STYLES



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Each mixed-use or multifamily residential project shall be consistent with the requirements of one of the architectural styles identified in this section. The architectural styles have been selected for their relevance to Livermore and the ability for the style and its key design elements to be adapted to a multi-story mixed-use or multifamily building. For a project site with multiple buildings, all buildings shall be of the same architectural style, except that Craftsman, Farmhouse, and Prairie-style buildings can occur together on the same project site.

The architectural styles in this section are:

- Craftsman
- Farmhouse
- Prairie
- Federal
- American Mercantile
- Spanish Mediterranean

For each style, there is a brief context statement about the style as well as objective design standards.

Examples of many of these styles can be viewed in **A Field Guide to American Houses** by Virginia Savage McAlester. A project is only subject to compliance with the standards, not the context statement. The context statement and reference to **A Field Guide to American Houses** are for background information only.

The standards for each architectural style are divided into two sections:

- Mandatory Design Elements**
 - Features, materials, or methods that shall all be incorporated into a building of this architectural style.
- Variants and Details**
 - Features, materials, or methods that are relevant to the architectural style. A building of this architectural style shall select a specified number of the variants or details to design into the building. It is the applicant’s or architect’s discretion which features to choose from the menu.

CRAFTSMAN

SECTION 2: ARCHITECTURAL STYLES

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Context

Craftsman was the dominant style for smaller houses built throughout the country for a short period of time from the turn of the century until the early 1920s. Downtown Livermore contains many examples of classic Craftsman architecture in the single-family home form, but this style adapts to multi-story buildings as well.

Building Scale:

1 to 3 stories

Building Forms Allowed:

- Garden
- Courtyard
- Motor Court
- Townhouse
- Triplex through Sixplex
- Duplex
- Bungalow Court



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Mandatory Design Elements

Each **Craftsman** building shall incorporate all of the following elements:

1. **Primary building material.** Wood or wood-like products (e.g. fiber cement board), such as horizontal or vertical lap siding, board-and-batten, or shingle siding.
2. **Accent materials.** Stone, brick, masonry, or castings utilized at the porch columns, at the base of the porch columns, chimneys, and/or at the building foundation.
3. **Roof materials.** Shingles made of composite wood, slate, concrete, or dimensional asphalt shingles (that mimic the look of wood or slate.)
4. **Roof pitch.** Low pitched, gabled roof with wide, open eave overhangs that extend at least 24 inches beyond the exterior wall on front and rear elevations and 12 inches on side elevations. Roof pitch shall be between 4:12 and 6:12.
5. **Roof features.** Roof beams, exposed roof rafters, and decorative braces under gables.
6. **Front porch.** Raised and covered porch for each ground floor unit entry and common building entry, either full or partial width, with roof supported by tapered square columns. Upper portions of porch columns may rest upon more massive pedestals, or the porch columns may extend to the ground. May be a shared porch that spans multiple unit entries. Porch design shall conform with the standards for **Frontage Types**.
7. **Windows.** Single- and double-hung windows with muntins in one or both panes. Windows shall have a vertical emphasis and be placed in groups or placed symmetrically.



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Variants and Details

Each **Craftsman** building shall incorporate at least five of the following variants and details:

1. Two or three windows grouped in a single assembly with a unifying frame and mullions. Windows may vary in height and width, but shall be aligned either at the top header or at the bottom sill for unity. The window grouping shall be symmetrical.
2. Chimney of brick, stone, or precast concrete for each 10,000 square feet of building floor area.
3. Wainscot of brick, stone, or wood.
4. Architectural stickwork in gables or porch.
5. Material change in pediment area.
6. At least four window dormers, gable or shed, on front elevation.
7. Two window boxes on each street-facing elevation.
8. Transom windows on each street-facing elevation.
9. Trellised porch on front elevation at least 50% of the façade length.
10. Porte cochere.
11. At least four balconies on each street-facing elevation.

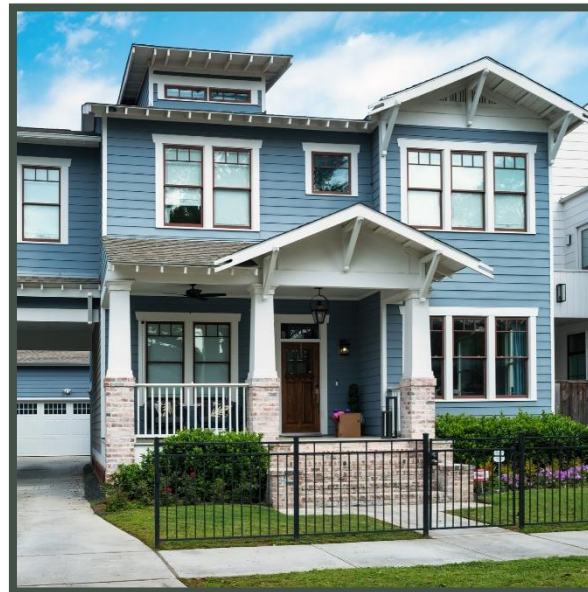


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FARMHOUSE

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Context

The **Farmhouse** style incorporates elements inspired by traditional rural homes with modern adaptations. This style includes a balance of rustic and modern materials in a building that is designed to feel comfortable and less formal, with pitched roofs and large, functional porches.

Building Scale:

1 to 3 stories

Building Forms Allowed:

- Courtyard
- Motor Court
- Townhouse
- Triplex through Sixplex
- Duplex
- Bungalow Court



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Mandatory Design Elements

Each **Farmhouse** building shall incorporate all of the following elements:

1. **Primary building material.** Wood siding, either in lap siding or board-and-batten, with a natural stain or painted finish. Siding may be oriented horizontally or vertically or a combination of the two.
2. **Accent building materials.** Stone or brick used around foundation walls, and as accent walls.
3. **Roof material.** Standing seam metal, (fire safe) cement fiber wood shingle, or asphalt shingles in gray, dark brown, or weathered red.
4. **Primary building colors.** Neutral tones: white, off-white, beige, gray, natural wood.
5. **Accent colors.** Black, charcoal, or dark gray, for trim, doors, and window frames.
6. **Window frames.** Windows have washed white or natural wood frames. For a modern adaptation, bronze metal frames may be used. Silver/anodized metal frames are not allowed.
7. **Entry doors.** Unit entrance doors are partially-glazed, and have glass panels, cross-brace detailing, transom windows, and sidelights.
8. **Roof form.** The building shall feature steep, symmetrical gable roofs, with slopes between 8:12 and 12:12 pitch. The gable roof may be extended or adapted to accommodate multiple units. Hipped roof elements may be used for some sections, and, if employed, shall be a secondary roof form in that gable roof forms shall cover at least 75% of the linear measurement of the roofline.



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Mandatory Design Elements (continued)

- 9. Front Porch.** A front porch for each ground floor unit entry and common building entry that is at least 50% the length of the unit façade. The porch shall be supported by unadorned wooden columns (i.e., without decoration or articulation) with metal railings or open balusters. This may be a shared porch that spans multiple units. Porch design shall conform with the standards for **Frontage Types**.
- 10. Windows.** Windows shall be in rectangular or square forms. Windows shall primarily be single- or double-hung or casement windows, but up to 25% of the windows may be fixed-pane.

Variants and Details

Each **Farmhouse** building shall incorporate at least three of the following variants and details:

- Sliding barn doors on at least two of the building façades.
- Single window shutter that is equal to the size of the window on 50% of the windows on each façade.
- Exposed rafters and soffits.
- Dormer windows on upper floor with combined widths that equal at least 25% of the linear foot length of the roof.
- Wall-mounted or hanging light fixtures in black, bronze, or other metallic finish.

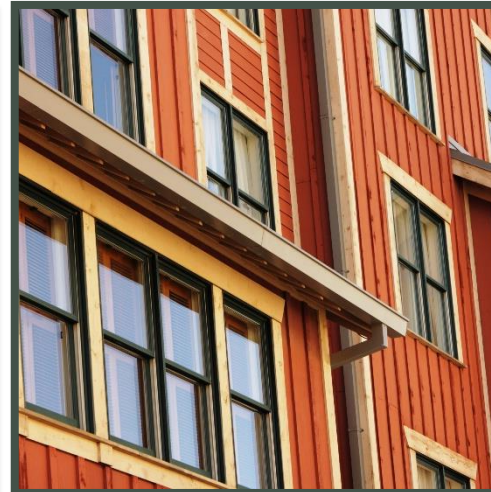


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PRAIRIE

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Context

The **Prairie** style originated in Chicago, was common in early 20th-century suburbs throughout the country, and most examples were built between 1905 and 1915. When adapted for a multi-unit building, the style may incorporate wide, horizontal façades, tiered levels to maintain a low-profile appearance, shared outdoor spaces with natural landscaping, and materials like brick, stone, or wood to reflect its organic roots.

Building Scale:

1 to 3 stories

Building Forms Allowed:

- Courtyard
- Motor Court
- Townhouse
- Triplex through Sixplex
- Duplex
- Bungalow Court



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Mandatory Design Elements

Each **Prairie** building shall incorporate all of the following elements:

1. **Primary building materials.** Natural materials including brick of any color, stone, wood siding, and stucco.
2. **Accent building materials.** Stone, textured brickwork, wood paneling, exposed wood beams, and patterned concrete.
3. **Primary building colors.** Earthy tones including beige, taupe, and muted greens, browns, and grays.
4. **Accent building colors.** Trim and doors shall be darker tones of the primary building colors (dark green, dark burgundy, dark brown, dark gray).
5. **Roof material.** Fire safe wood shingle or a cement-fiber shingle with the appearance of shake.
6. **Entry doors.** Unit or building entry door shall be wood with inset glass detailing and sidelights.
7. **Roof form.** Low-pitched hipped roof with boxed eaves that overhang by at least 36 inches. Roof pitch is between 4:12 and 6:12.
8. **Porch or stoop.** Covered porch or stoop for each ground floor unit entry and common building entry with square supports that are individually 10% of porch width. Porch may be a shared porch that spans multiple units and must span at least 25% of the building façade. Design shall conform with the standards for **Frontage Types**.
9. **Grouped windows.** At least 50% of the windows on each elevation shall be grouped in sets (two or more windows in a set).
10. **Building articulation.** Articulated “pop out” building elements that are offset from the main wall plane by a minimum of 12 inches and have trim detailing on all corners. Pop out area shall be the height of at least one story and shall be at least 10’ wide.



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Variants and Details

Each **Prairie** building shall incorporate at least five of the following variants and details:

1. Caps on porch and balcony railings, piers, balconies, and chimneys with accent color(s).
2. Accent color(s) on eaves and cornice.
3. Wood trim between stories painted in an accent color.
4. Continuous sill line below upper story windows.
5. Integral planting boxes at upper story windows.
6. Flattened pedestal urns for flowers.
7. Geometric patterns of small-pane window glazing in the upper sash of single- or double-hung windows and muntin-free panes of glass in the lower sash.
8. Tall casement windows. The individual window height shall be at least 2.5 times greater than the window width.
9. Gable roof edges flattened.
10. Ribbon windows that wrap around the corner.
11. Broad, flat chimney.
12. Open terrace or balconies on upper stories.
13. Decorative friezes or door surrounds consisting of bands of carved geometric or stylized floral (Sullivan-esque) ornamentation.
14. Casement or clerestory windows on street-facing elevations.

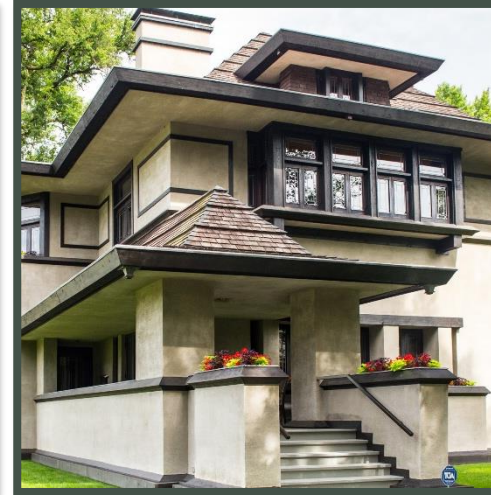


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FEDERAL

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Context

Federal architecture emerged in the United States in the late 18th century and was widely used in residential, civic, and institutional buildings. This style has an emphasis on symmetry, balanced proportions, and classical details. Though widely used on the East Coast in grand single-family homes, the style has evolved and is effectively used in multifamily residential buildings as well.

Building Scale:

Two or more stories

Building Forms Allowed:

- Podium
- Wrap
- Commercial Block
- Ground Floor Flex
- Garden
- Courtyard
- Motor Court
- Townhouse
- Triplex through Sixplex
- Duplex
- Bungalow Court



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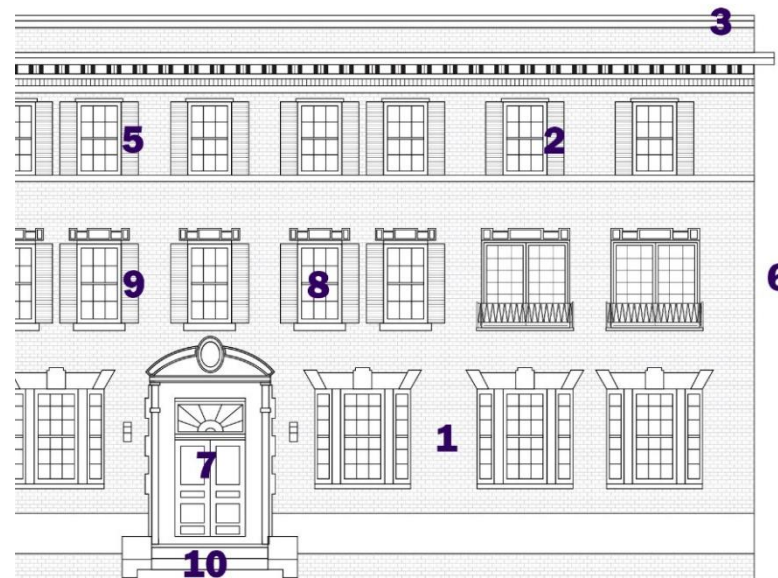
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Mandatory Design Elements

Each **Federal** building shall incorporate all of the following elements:

1. **Primary building material.** Brick or stone (vener) and/or or lap siding. Painted wood or fiber cement board that mimics lap siding or clapboard is also allowed. If brick is used, it is traditional red and laid in a traditional pattern such as Flemish or English bond.
2. **Accent materials.** Wood shutters and protruding lintels and sills made from stone, masonry, or concrete.
3. **Roof.** Either a steeply pitched roofline (8:12 to 12:12) with roof dormers or flat roof with an extended cornice at least 12 inches in height with modillions and/or dentils that protrudes a minimum of 18 inches from the building wall. Roofing material includes (fire-safe) wood shingles, slate (or modern synthetic slate equivalent), composite shingles that mimic wood or slate, or standing-seam metal. Roof parapets shall screen rooftop equipment.
4. **Primary building colors.** Wood is white, cream, or light gray. Brick is traditional red. Stone shall remain the natural color of the stone.
5. **Accent building colors.** Shutters and doors are black, dark green, dark burgundy, or navy blue. Trim for windows, doors, and cornices is white.
6. **Building form.** Rectangular in form with symmetrical and proportional building elements. Doors and windows balanced on the façade and following classical proportions.

7. **Entry door.** Front door centered on the façade with an overhead crown either supported by pilasters or extended forward and supported by columns to form an entry porch. The primary building entry (or entries) shall have overhead fan lights or sidelights (or both) and an equal number of equally-sized windows on either side of the door.
8. **Windows.** Single- or double-hung sashes shall have multi-pane glazing (divided lites) in one or both sashes.
9. **Shutters.** Sized equal to the width of the windows and shall be placed uniformly on the front façade on at least 50% of the windows.
10. **Ground floor stoop.** At the front entry to each unit and/or common building entry.



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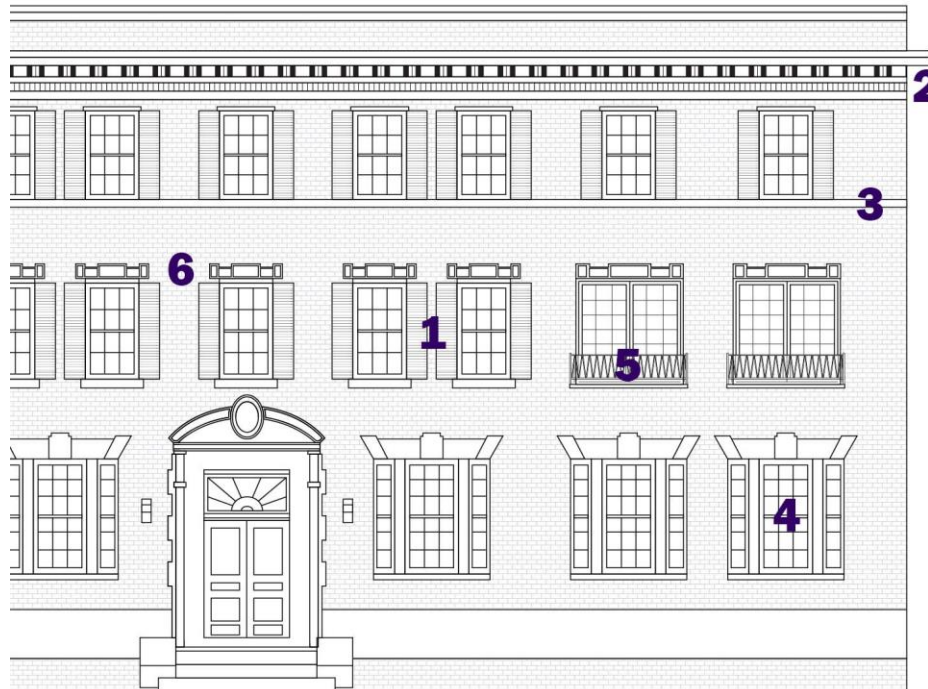
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Variants and Details

Each **Federal** building shall incorporate at least five of the following variants and details:

1. Windows in adjacent pairs.
2. Open eaves and rake or exposed rafters.
3. Belt courses (refined moldings at floor or story divisions).
4. Bay windows on street-facing elevations.
5. Decorative ironwork at balcony railings or at other functional spaces such as ground-floor patios.
6. Accents around window frames (e.g. exterior window sills, exterior window cornice header box, brick frame at window header)
7. Roof dormer(s).





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AMERICAN MERCANTILE

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Context

The **American Mercantile** architectural style is a broad term that describes commercial buildings from the late 19th and early 20th centuries, particularly in small towns and urban centers across the United States.

Buildings in the **American Mercantile** style were designed primarily for retail and business purposes, with housing and offices incorporated into upper floors. The buildings often reflected a mix of architectural influences, emphasizing practicality and local materials, but are very effective in creating a mix of uses that bring vitality to city centers and commercial districts.

Building Scale:

Two or more stories

Building Forms Allowed:

- Podium
- Wrap
- Commercial Block
- Ground Floor Flex



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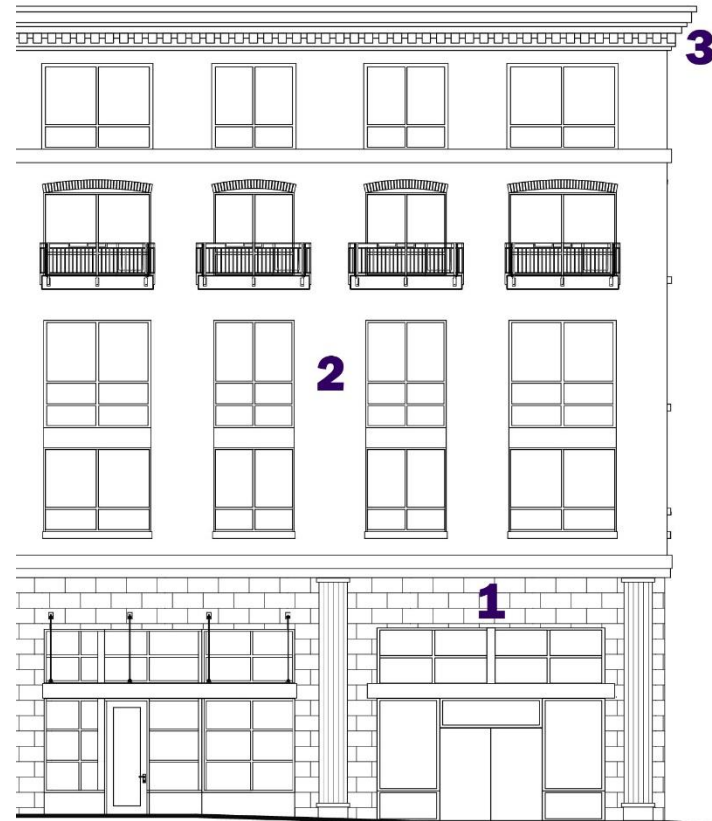
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Mandatory Design Elements

Each **American Mercantile** building shall incorporate all of the following elements:

1. **Primary building material.** A distinct building base at the ground floor that uses different materials and has a different form from the upper floors.
 - a. Brick or stone at the ground level.
 - b. On upper floors, other materials can be used, including brick, stone, stucco, natural or composite wood cladding, fiber cement panels, metal, tile.
2. **Primary colors.** One- or two-color palette with the primary focus on the materials. For those building materials that are painted a color different than their natural condition (e.g. wood, stucco, fiber cement panels), there shall be one primary building color and no more than two accent colors on any elevation.
3. **Roof form.**
 - a. Flat or low-pitched roof. Roof pitch shall be no steeper than 3:12 except for a small portion of the roof, if designed to be an architectural feature (no more than 10% of the roof), which can be steeper than 3:12.
 - b. Decorative cornices at least 12 inches in height that project from the roofline a minimum of 8 inches with metal, brick, stone, or plaster.
 - c. Parapets are required to screen rooftop equipment.



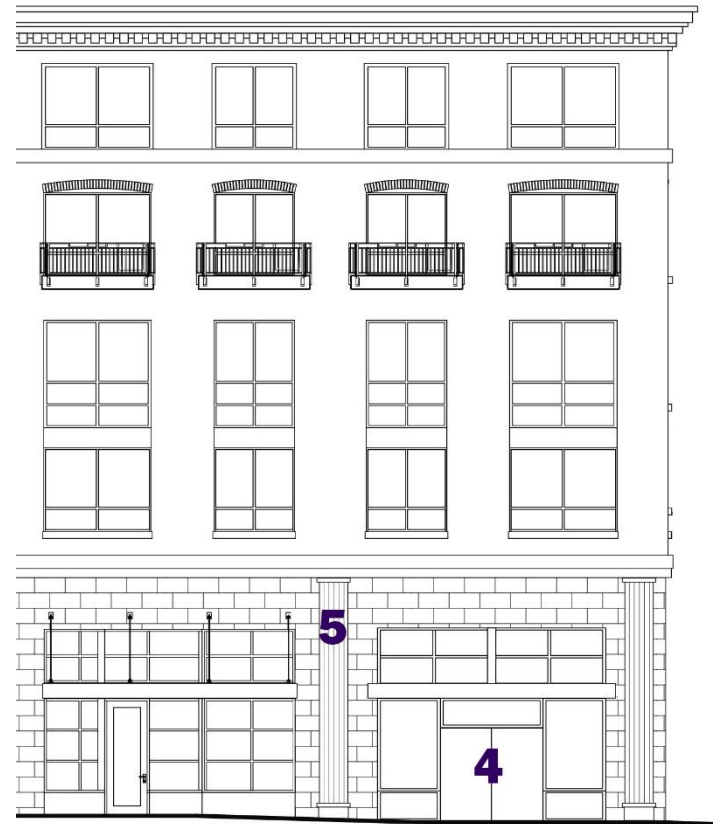
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- d. If pitched, roof materials can be standing-seam metal or slate (or modern synthetic slate equivalent).
- 4. Activated ground floor with one of the following **Frontage Types**:
 - a. Shopfront
 - b. Terrace Shopfront
 - c. Gallery
- 5. Ground floor features.
 - a. Ground floor is a minimum of 12' in height and taller than upper stories.
 - b. Recessed entries at the ground-floor storefronts and at the main entry to the upper residential floors. Entries shall be recessed a minimum of 3'.
 - c. Entry doors shall include windows that encompass at least 65% of the upper half of the door.
 - d. Placement of windows, columns, entries and other building elements in an established pattern along the elevation. The established pattern can be different at different stories.
 - e. A minimum of 40% of the street-facing linear frontage of the ground floor shall contain windows at least 5' in height.



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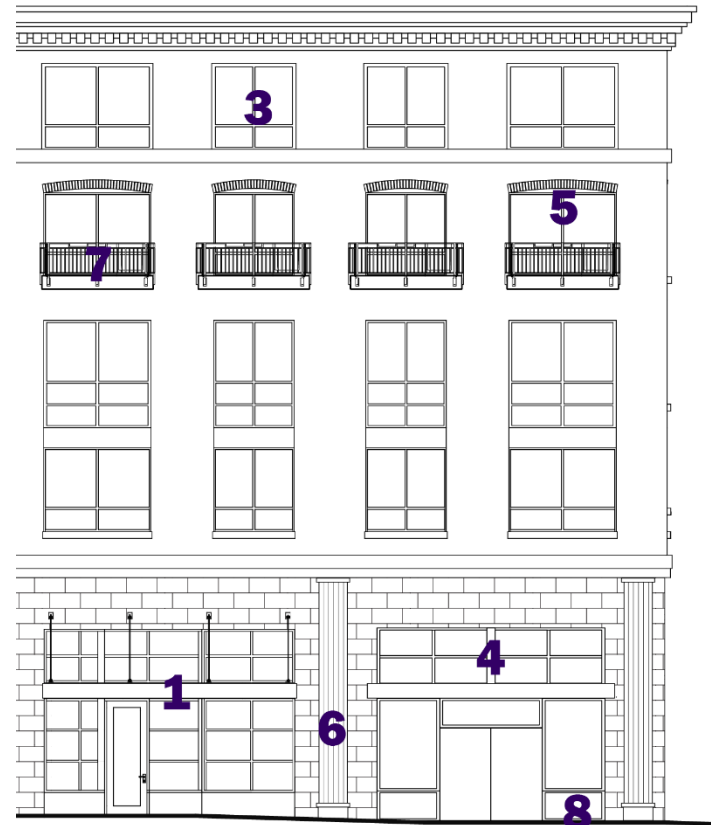
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Variants and Details

Each **American Mercantile** building shall incorporate at least five of the following variants and details:

1. Awnings, canopies or overhangs at the ground-floor entries and windows built from steel, aluminum, or wood trellises.
2. Outdoor street-adjacent spaces with permanently-installed pedestrian-focused elements including enclosed patios, decorative planter boxes, and sidewalks that are at least 8' in width.
3. Windows on upper floors are single- or double-hung with a window sill and window lintel.
4. Transom windows over the storefront doors and display windows on the ground floor.
5. Arched windows with decorative lintels.
6. Pilasters or columns at the ground level detailed with an accent material.
7. Upper floor balconies that extend off the front plane of the building. Can either be full balconies or Juliette. Balcony railings shall be metal or shall match another accent material or feature employed on the building.
8. Bulkhead wall between 12 and 24 inches in height.



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SPANISH MEDITERRANEAN

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Context

Spanish Mediterranean is an architectural style inspired by the Spanish missions in California. It blends traditional Spanish design elements with modern construction techniques and has adapted well for multifamily and mixed-use development.

Building Scale:

Three or more stories

Building Forms Allowed:

- Podium
- Wrap
- Commercial Block
- Ground Floor Flex
- Garden
- Courtyard
- Motor Court



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Mandatory Design Elements

Each **Spanish Mediterranean** building shall incorporate all of the following elements:

1. **Primary building material.** Smooth or textured stucco.
2. **Accent materials.** Clay, wood, tile, and wrought iron.
3. **Roof materials.** Red or terracotta barrel tiles. The roof may be constructed of actual barrel tile or other materials that simulate barrel tile.
4. **Low-pitched roofs** (slope no greater than 4:12) shall have wide overhangs and eaves at least 3' in depth. Each roof eave shall contain at least one rafter tail per 6 linear feet of length.
5. **Primary building colors.** White, brown, or taupe.
6. **Accent building colors.** Used for trim, rafter tails, and doors. Earth-toned color in the brown, burgundy, or gray family that is darker than the primary building color.
7. **Arches and arcades.** Arched windows, doorways, and colonnades that define entryways, patios, and balconies.
8. **Balconies.** On a minimum of 30% of the units. Wrought iron railings and wooden accents. Minimum dimensions 6' wide and 4' deep.
9. **Multi-Level Layouts.** Staggered floors with varied height rooflines and tower elements.



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Variants and Details

Each **Spanish Mediterranean** building shall incorporate at least five of the following variants and details:

1. **Decorative tile work.** Hand-painted ceramic tiles used for exterior stair risers, wall accents, window lentils or sills, and signage.
2. **Central courtyard.** With landscaped gardens, can be in raised planters and/or terracotta pots.
3. **Decorative fountains.** Either stand-alone or integrated into a wall plane. One per building façade.
4. **Arches.** Arched window, door, or gallery/porch entries with a vertical plane deflection of at least one foot for windows and 2' for doors and entries. Arches shall be integrated in at least 50% of the windows, door, or entries on each façade.
5. **Ornamentation.** At least one of the following details per 35 linear feet of building façade. Each detail shall be at least 6 inches by 6 inches in size. Details may be located at different heights or arrangements. Options are:
 - a. Patterned tile installation,
 - b. Carved stonework, or
 - c. Other wall surface ornamentation.



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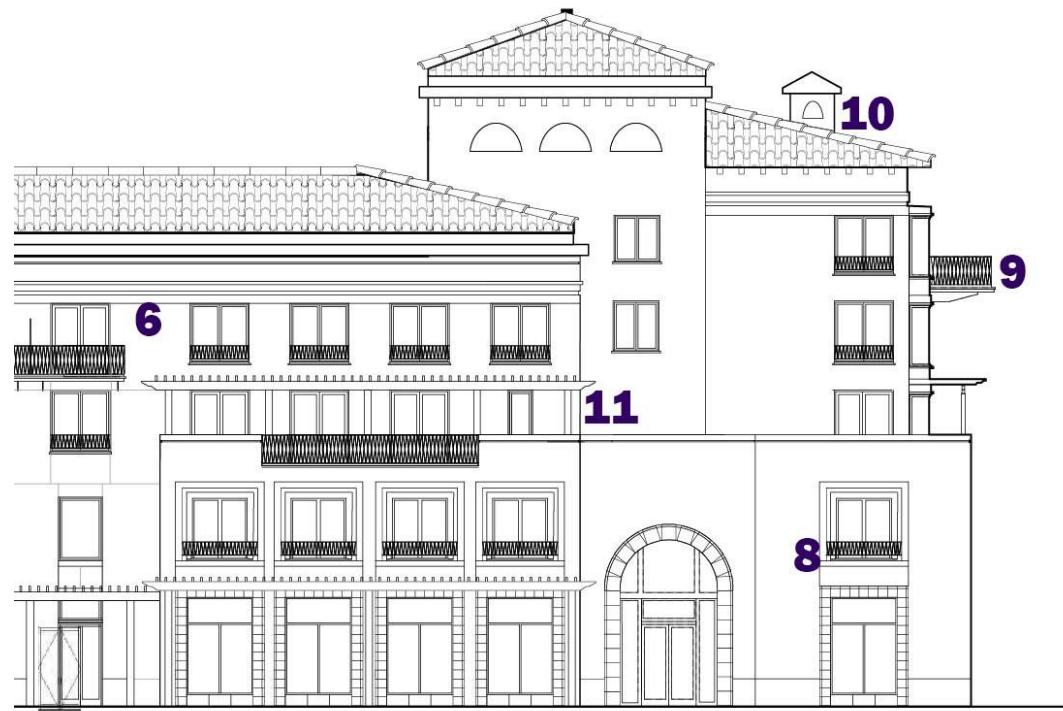
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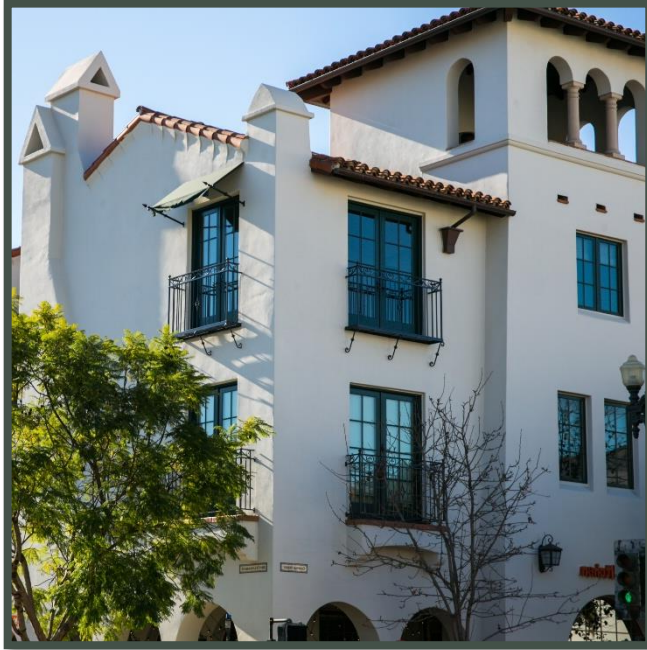
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Variants and Details (continued)

6. **Coping.** Coping at least 6 inches in width installed around all windows, entries, and doors, and along the ridge of all dormers, parapets, and chimney or bell tower caps.
7. **Decorative wood doors.** Entry doors of solid wood with ornamental carvings and/or wrought iron hardware.
8. **Juliet balconies.** At least one Juliet balcony with a wrought iron railing per 25 linear feet of building façade.
9. **Cantilevered balcony.** Supported by exposed beams or corbel braces.
10. **Chimney.** At least one chimney (or faux chimney) per 10,000 square feet of building area. Each chimney (or faux chimney) shall have an architectural cap with trim band of at least six inches.
11. **Trellis.** At least one trellis on at least two building façades.
 - a. Each trellis length shall be at least 50% of the linear length of the building façade.
 - b. Each trellis height shall be at least as tall as the height of the first building floor.
 - c. Each trellis shall be made of stained wood or wrought iron.





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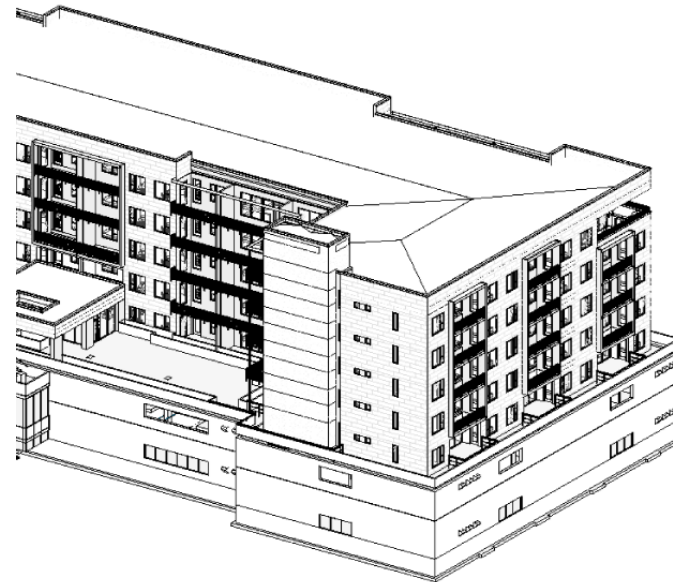
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PODIUM

Context

A **Podium** building is a mid-rise residential or mixed-use building where the lower level, often made of concrete, functions as a “podium” to support multiple stories, usually wood-framed construction, of residential units above. The podium floor at the ground level typically features street-facing commercial or office tenant spaces, and parking garages, lobbies, common spaces, or other building amenities, while the upper floors are dedicated to residential units.



Building Frontages Allowed

- Shopfront
- Terrace Shopfront
- Gallery

Pedestrian Access

- Main building entrance location(s) at the ground floor: Primary Street
- Secondary building entrances on the ground floor: Primary or Side Street

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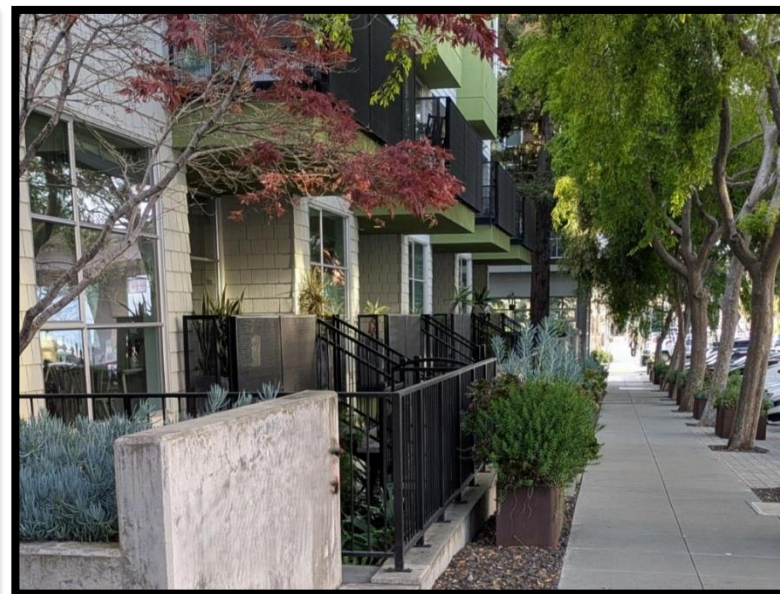
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Vehicle Access

- At least 75 % of provided parking spaces shall be located in a parking garage.
- Vehicular access to onsite surface parking and the parking garage shall be located in one of the following locations:
 - Side Street
 - Building Rear
 - Same façade as the building entrance if located at the opposite end.

Open Space, Usable

- No private open space is required, except as may be required by the chosen architectural style.
- Shall provide 125 square feet of common, usable, open space per unit. Common open space may be located outdoors, on rooftops, courtyards, paseos, patios, or indoors in common areas like lounges and gyms.
- Common open space shall be accessible for use by the residents and shall not include pathways, stormwater retention areas, landscape areas, lobbies, storage areas, and other spaces that cannot be used for the purposes of recreation.



These podium-style buildings have both residential units and commercial space on the ground floor. The entrance to the podium parking garage is on the side street.

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WRAP

Context

A **Wrap** (also called a “wrap around podium”) building is a mid-rise residential or mixed-use building where a central, multi-story concrete parking garage is surrounded by multiple floors of residential units, which are almost always wood-framed construction. The ground floor units can be residential or commercial uses.

Building Frontages Allowed

- Porch
- Stoop
- Forecourt
- Shopfront
- Terrace Shopfront
- Gallery

Pedestrian Access

- Main building entrance location(s) at the ground floor: Primary Street
- Secondary building entrances on the ground floor: Primary or Side Street



Vehicle Access

- At least 75% of provided parking spaces shall be located in a parking garage.
- Vehicular access to onsite surface parking and the parking garage shall be located in one of the following locations:
 - Side Street
 - Building Rear
 - Same façade as the building entrance if located at the opposite end.

Open Space, Usable

- No private open space is required, except as may be required by the chosen architectural style.
- Shall provide 125 square feet of common, usable, open space per unit. Common open space may be located outdoors, on rooftops, courtyards, paseos, patios, or indoors in common areas like lounges and gyms.
- Common open space shall be accessible for use by the residents and shall not include pathways, stormwater retention areas, landscape areas, lobbies, storage areas, and other spaces that cannot be used for the purposes of recreation.

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These wrap-style buildings have both residential units and commercial space on the ground floor. The structured parking garage is in the middle of the building and is almost completely wrapped by residential units or commercial spaces.

COMMERCIAL BLOCK

Context

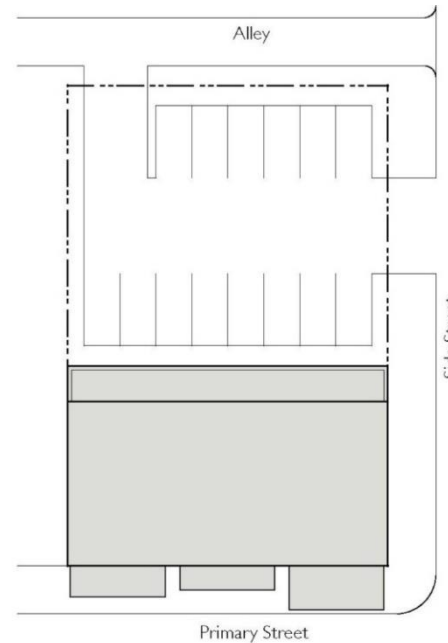
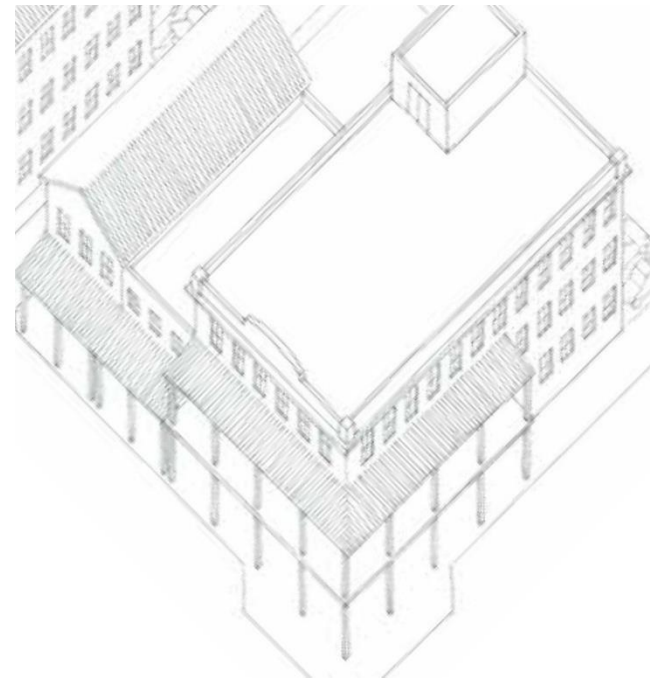
A **Commercial Block** building is a vertical mixed-use building with ground floor commercial or recreational uses and upper floor office or residential uses. Larger versions of these building forms are located in town centers and smaller versions in neighborhood main streets. These MODS are applicable if a Commercial Block building includes residential uses.

Building Frontages Allowed

- Shopfront
- Terrace Shopfront
- Gallery

Pedestrian Access

- Main building entrance location(s) at the ground floor: Primary Street
- Secondary building entrances on the ground floor: Primary or Side Street



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Vehicle Access

- Parking spaces may be enclosed, covered, or open
- Vehicular access to onsite surface parking or garage(s) shall be located in one of the following locations:
 - Side Street
 - Building Rear
 - Same façade as the building entrance if located at the opposite end.

Open Space, Usable

- No private open space is required, except as may be required by the chosen architectural style.



GROUND FLOOR FLEX

Context

A **Ground Floor Flex** building consists of residential units stacked above a flexible ground-floor space used primarily for office or commercial uses. Each **Ground Floor Flex** space has its own individual entry. This building form is typically located in the transitional areas between mixed-use commercial centers and residential areas. Units are appropriate for incubating neighborhood-serving retail or service uses and allowing neighborhood main streets to expand as the market demands.

Building Frontages Allowed

- Shopfront
- Terrace Shopfront
- Gallery

Pedestrian Access

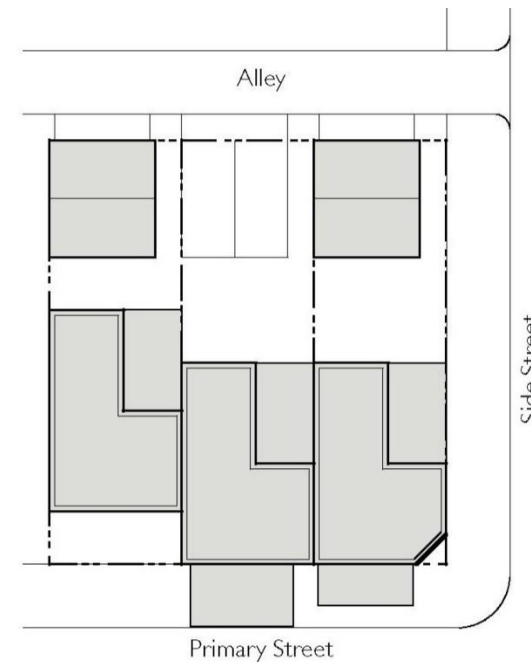
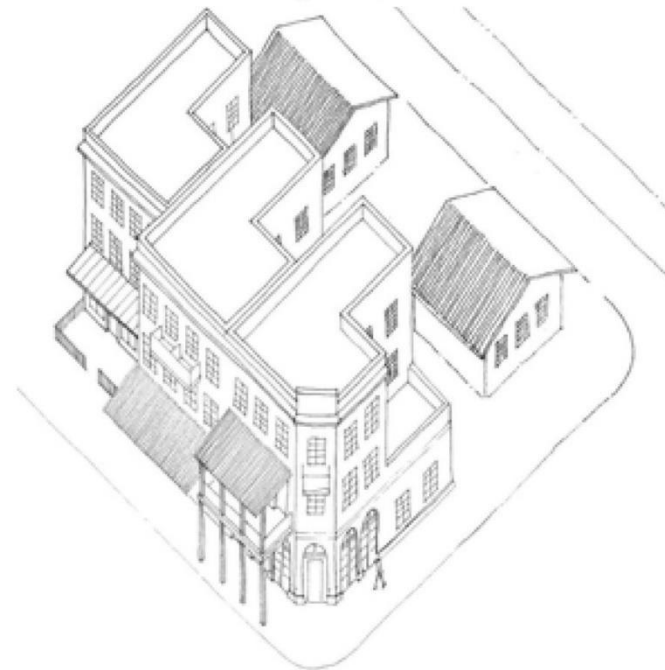
- Main building entrance locations: Primary Street
- Ground floor space and upper unit space shall have separate building entries.

Vehicle Access

- Parking may be enclosed, covered, or open.
- Garages may be attached, detached, or tuck-under.
- Access to parking spaces shall be from Side Street or Alley.

Open Space, Usable

- No private open space is required, except as may be required by the chosen architectural style.



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GARDEN

Context

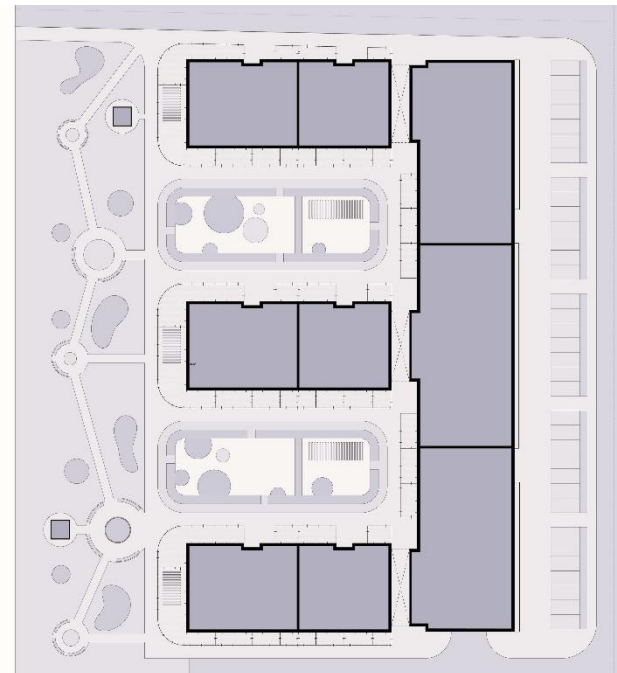
A **Garden** building form consists of a cluster or series of several buildings on the same project site that are low-to-mid-rise and contain multiple attached and stacked units. A **Garden** site features shared outdoor landscaped spaces that include courtyards, play areas, pathways, planted areas, lawns, and shared facilities like pools, fitness centers, and spas. Buildings are usually no more than five stories high.

Building Frontages Allowed

- Porch
- Stoop
- Forecourt

Pedestrian Access

- Main entrance locations to each building from pathways that are internal to the site and that connect to the parking areas.
- Stairways to second floor entries shall be internal to the building and enclosed. No exterior stairways.



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Vehicle Access

- Parking spaces may be enclosed, covered, or open.
- Parking is at the perimeter or rear of the site in surface spaces.
- Access to parking spaces shall be from Primary Street, Side Street or Alley.
- No parking spaces are permitted at the front of the site between the building and street.

Open Space, Usable

- Private: 25% of all units shall have a private open space of at least 24 square feet.
- Common: Shall provide 250 square feet of common, usable, open space per unit. Common open space shall be located outdoors, between and around the building footprints.
- Common open space shall be accessible for use by the residents and shall not include pathways, stormwater retention areas, landscape areas, lobbies, storage areas, and other spaces that cannot be used for the purposes of recreation.



These garden-style buildings have generous green spaces on site that are accessible and usable by residents.

COURTYARD

Context

A **Courtyard** building contains multiple attached and stacked units, oriented around and accessed from a central courtyard. Each unit may have its own individual entry or several units may share a common entry, which is accessed from the central courtyard. These buildings are often no more than three stories and parking is typically at the back or perimeter of the site in surface spaces.

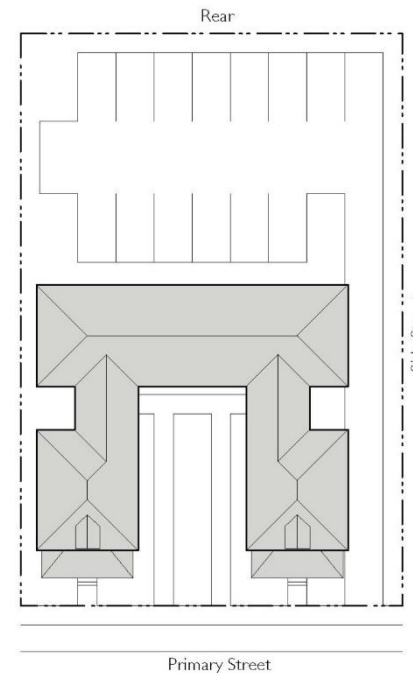


Building Frontages Allowed

- Porch
- Stoop

Pedestrian Access

- Main entrance location to each unit is from the central courtyard.
- Unit entry walkways can serve multiple units or just one, but no more than 3 units may enter from one stoop.
- Stairways to second floor entries shall be internal to the building and enclosed. No exterior stairways.



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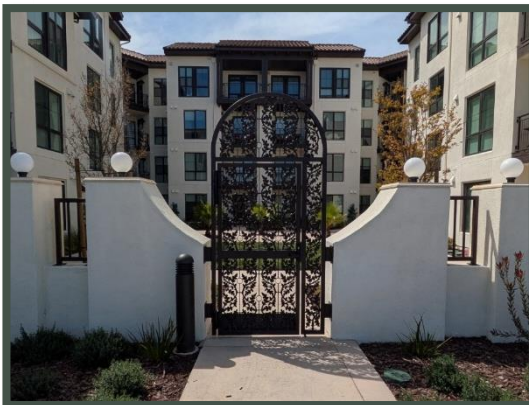
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Vehicle Access

- Parking spaces may be enclosed, covered, or open.
- Parking is at the perimeter or rear of the site in surface or tuck-under spaces.
- Access to parking spaces shall be from Primary Street, Side Street or Alley. Access to parking from the Primary Street shall be limited to a drive aisle only. No parking spaces at the front of the site between the building and street.

Open Space, Usable

- Courtyard shall be a minimum of 20' wide and deep
- Edge of courtyard not defined by a building shall be defined by a wall ranging from 2'-6 inches to 3' tall.
- No private open space is required, except as may be required by the chosen architectural style.



These Courtyard style buildings have common open space with amenities for residents and guests in the middle of the U-shaped buildings.

MOTOR COURT

Context

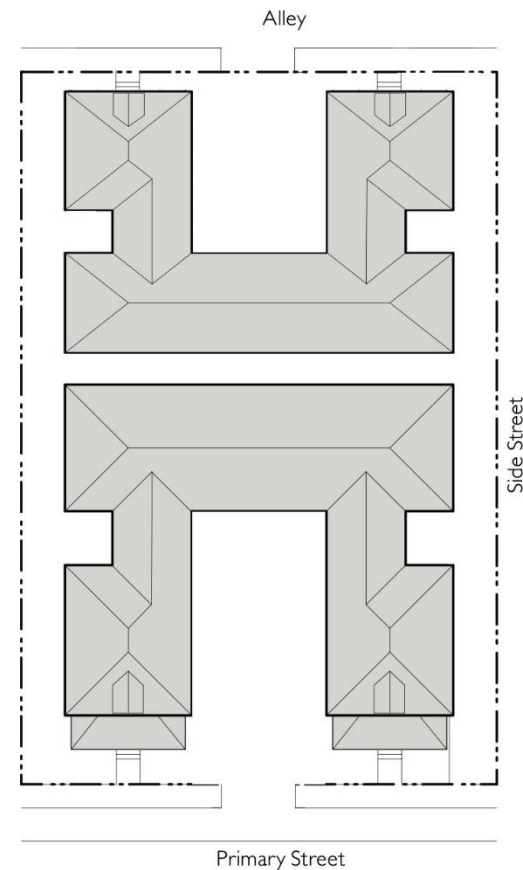
A **Motor Court** building contains multiple attached units that can be stacked or arranged side-by-side and oriented around a central courtyard. However, in the case of a **Motor Court**, the shared courtyard space is a shared vehicular space (known as motor court). The motor court accesses individual garages or ground-floor parking spaces for each unit. Individual unit front door entries are on the outside of the motor court building and are accessed by walkways both from the motor court and from pathways that connect the perimeter of the building to the street and on-site common spaces.

Building Frontages Allowed

- Porch
- Stoop

Pedestrian Access

- Main entrance location to each unit is on the perimeter of the motor court-oriented building.
- Unit entry walkways can serve multiple units or just one, but no more than 3 units may enter from one stoop.
- Stairways to second floor entries shall be internal to the building and enclosed. No exterior stairways.



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Vehicle Access

- Parking spaces are tuck-under and enclosed and accessed from the central motor court.
- Access to parking spaces shall be from Primary Street, Side Street or Alley. Access to parking from the Primary Street shall be limited to the drive aisle only. No parking spaces at the front of the site between the building and street.

Open Space, Usable

- 50% of all units shall have a private open space of at least 24 square feet.



Motor Court style buildings have a common garage-access court and entrances to the units on the perimeter of the building.

TOWNHOUSE

Context

A **Townhouse** building contains three or more attached units placed side-by-side whereby each unit has its own entry at a porch or stoop and private garages for each unit accessed by a shared driveway on the opposite side of the building.

Building Frontages Allowed

- Porch
- Stoop

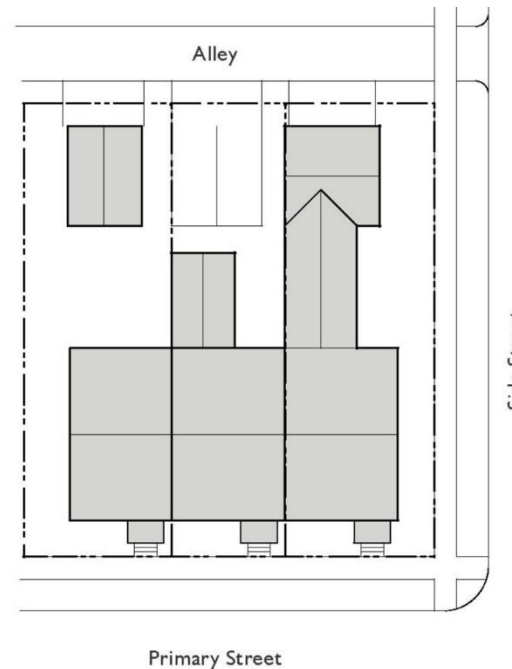
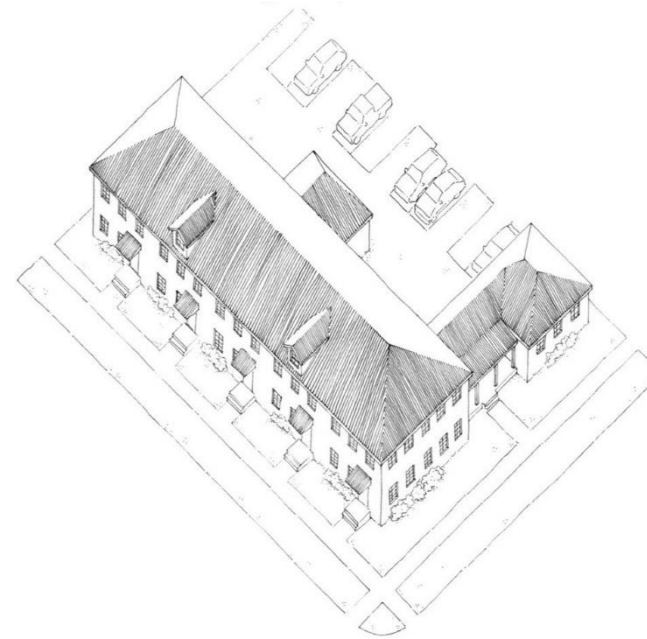
Pedestrian Access

- Main entrance location to each unit is on the Primary Street, Side Street, or Paseo.
- Walkways can serve multiple units, but each unit shall have an individual entry with a porch or stoop.

Building Articulation

For Townhome-style projects of four or more units, every other unit shall be differentiated from its adjacent units with the following plane changes:

- Minimum 12 inch roof plane change.
- Minimum 12 inch wall plane change.



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Vehicle Access

- Parking spaces are tuck-under, enclosed, and accessed from an internal drive aisle or alley.
- Access to parking spaces shall be from Primary Street, Side Street or Alley. Access to parking from the Primary Street shall be limited to the drive aisle only. No parking spaces at the front of the site between the building and street.

Open Space, Usable

- Private open space: Minimum 40 square feet per unit.
 - Shall be provided in a porch, patio, stoop, balcony, yard, or combination thereof
 - Minimum depth of 4'
- Common open space: Minimum of 60 square feet per unit.
- Required street setbacks and driveways shall not be included in the total private or common open space area calculation.



Both of these Townhouse style buildings demonstrate the requirement for adequate building articulation and changes in materials to differentiate the units while still providing consistency in design.

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TRIPLEX THROUGH SIXPLEX

Context

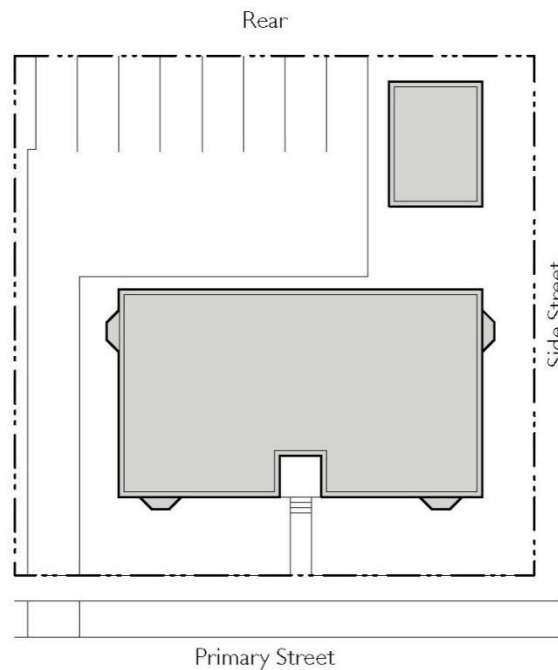
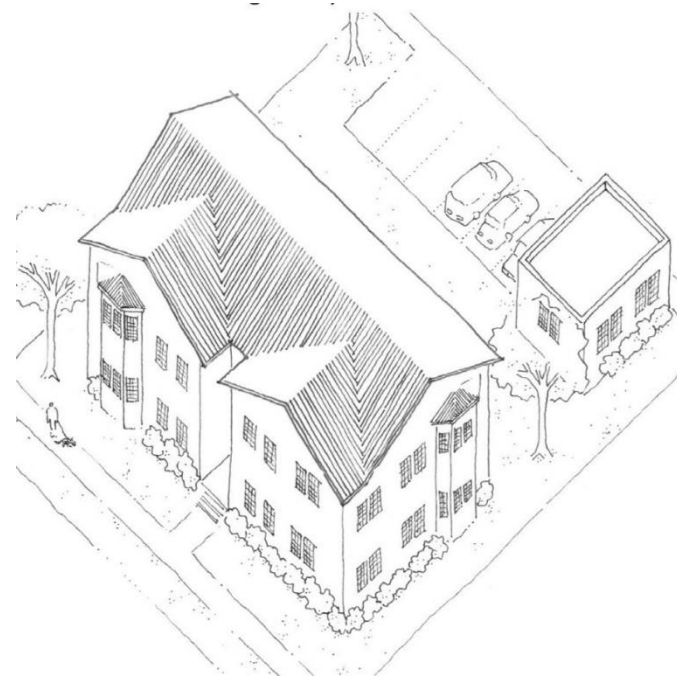
A **Triples through Sixplex** building contains 3, 4, 5, or 6 side-by-side or stacked units in a building, either with one shared entry or individual entries. This building form typically has the look of a large single-family home.

Building Frontages Allowed

- Porch
- Stoop
- Forecourt

Pedestrian Access

- Main entrance location to each unit is on the Primary Street.
- Walkways can serve multiple units and each unit can have an individual entry with a porch or stoop. Alternatively, the building could have a shared entrance that serves several units.



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Vehicle Access

- Access to parking spaces shall be from Primary Street, Side Street or Alley.
- Access to parking from the Primary Street shall be limited to the drive aisle only. No parking spaces at the front of the site between the building and street.
- Parking may be enclosed, covered, or open.

Open Space, Usable

- Total open space: Minimum of 100 square feet per unit, combined between common and private spaces.
- Can be provided in a porch, patio, stoop, balcony, yard area, or amenity space.
- Required street setbacks and driveways shall not be included in the total open space area calculation.



Triplex through Sixplex buildings can often blend well into established neighborhoods on infill lots.

DUPLEX

Context

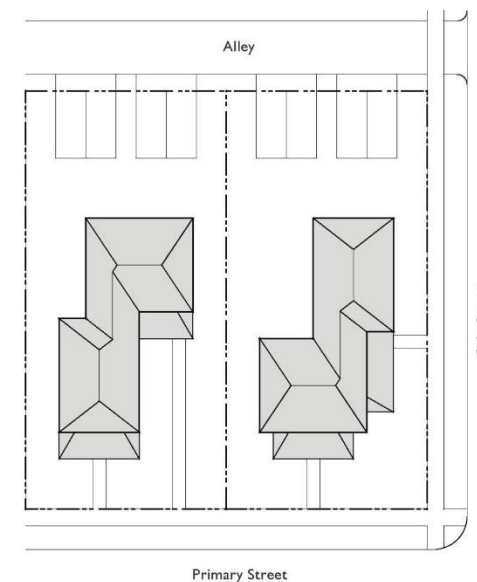
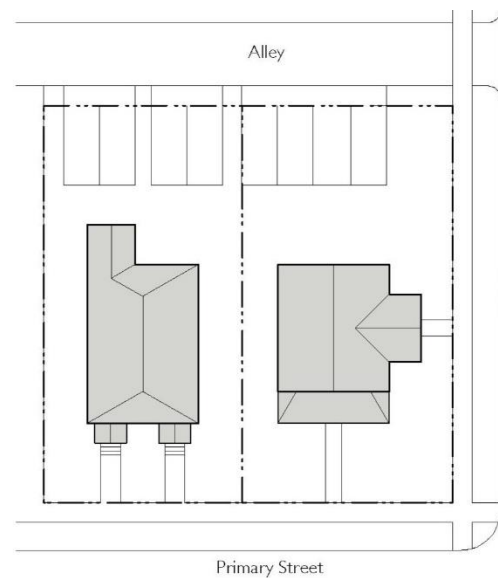
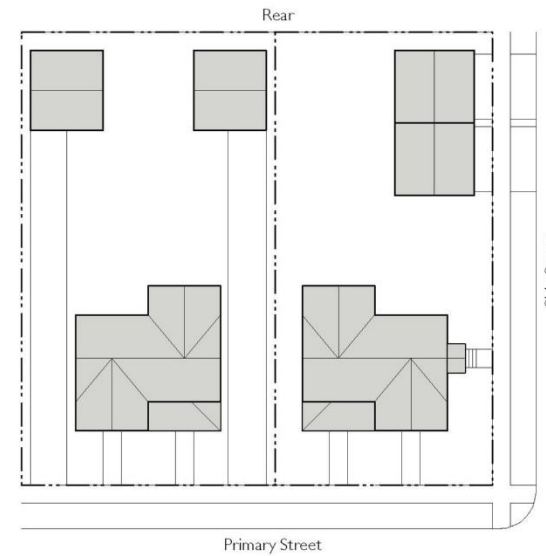
A **Duplex** building contains two units. Unit orientation can be side-by-side (sharing party wall), front-to-back (same), or stacked, where one unit is above another. This building form typically has the look of a single-family home.

Building Frontages Allowed

- Porch
- Stoop

Pedestrian Access

- Main entrance location to each unit is on the Primary Street.
- On corner lots, each unit entry shall be on a different street.



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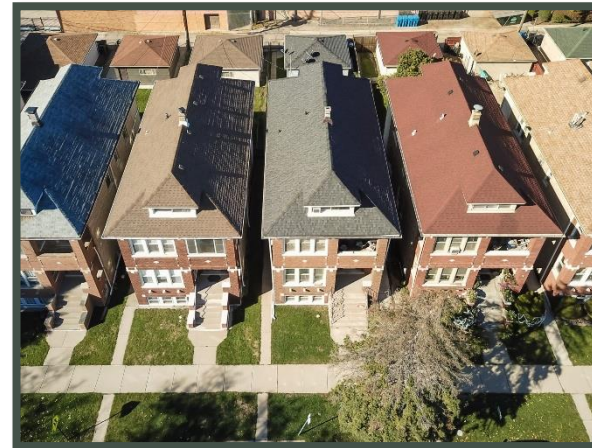
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Vehicle Access

- Access to parking spaces will be from Primary Street, Side Street or Alley.
- No parking spaces at the front of the site between the building and street.
- Parking may be enclosed, covered, or open.

Open Space, Usable

- Private open space:
- Minimum of 300 square feet per unit.
- At least one of the private open space areas shall be a minimum width of 15' and minimum depth of 15'.
- Private open space may be in the form of porches, stoops, balconies, yards, and patios.
- Required street setbacks and driveways shall not be included in the total open space area calculation.



BUNGALOW COURT

Context

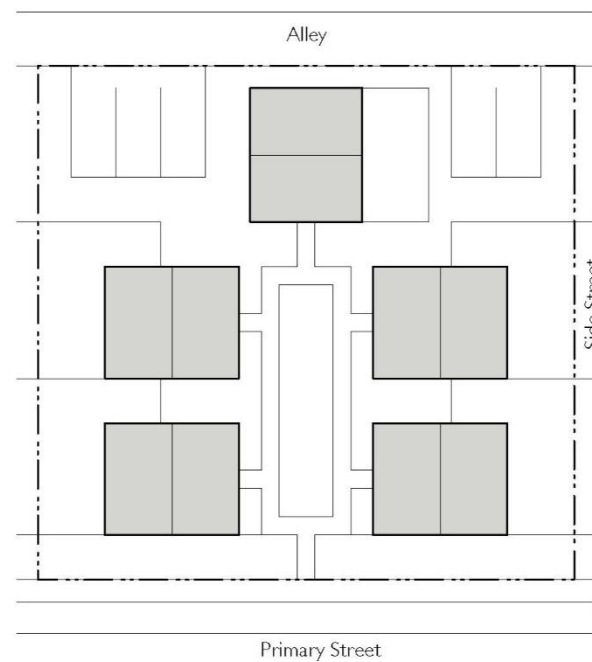
A **Bungalow Court** is a series of small detached or attached units on a single lot, arranged to define a shared vehicle-free courtyard space that is perpendicular to the street. All units face and are accessed from this shared central space.

Building Frontages Allowed

- Porch
- Stoop

Pedestrian Access

- Main entrance location to each unit is from the central courtyard/common space.



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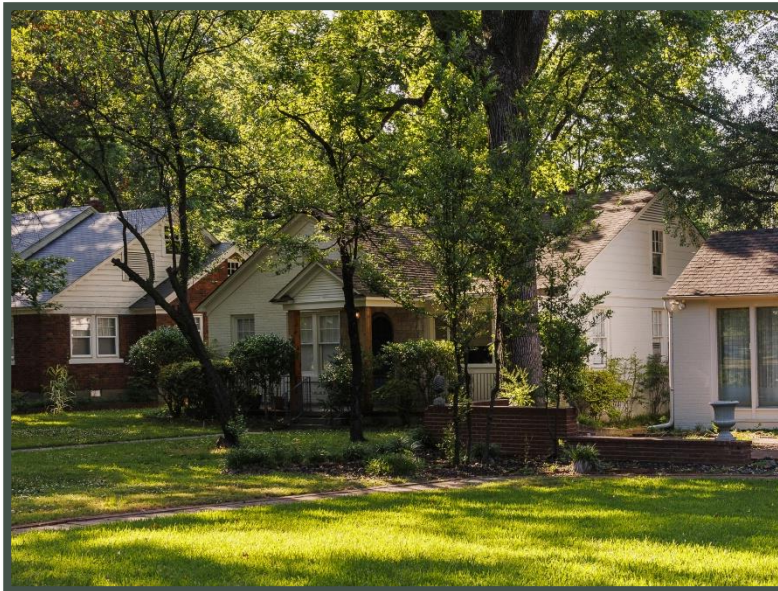
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Vehicle Access

- Access to parking spaces shall be from the Side Street or Alley and located at the side or rear of the site.
- Parking may be enclosed, covered, or open.

Open Space, Usable

- Common Central Courtyard for every 10 units:
 - Minimum 20' wide
 - Minimum 50' deep
 - Shall be oriented perpendicular to, and shall be open to, the sidewalk and street.



Bungalow Courts are not common multifamily development types, but they can create very comfortable living environments.

FRONTAGE TYPES



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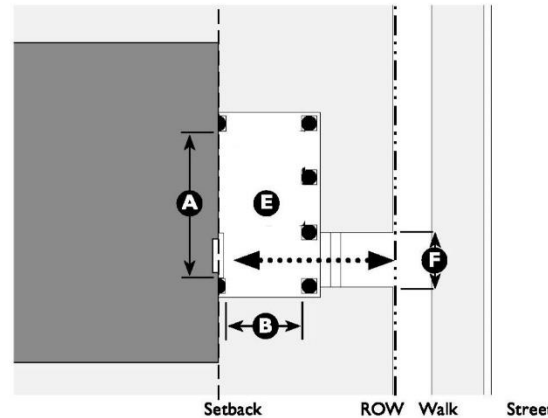
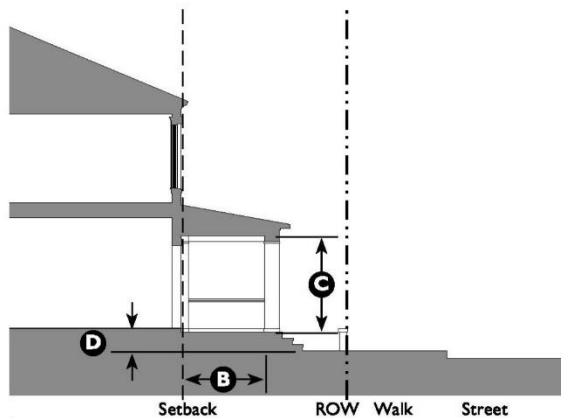
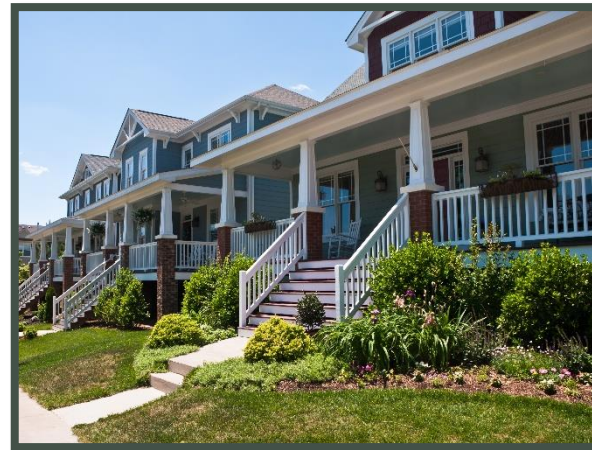
PORCH – PROJECTING

Context

The main façade of the building typically has a small-to-medium setback from the property line. The resulting front yard is typically very small and may or may not be defined by a fence or hedge to spatially maintain the edge of the street. The projecting porch may be one or two stories, is open on three sides, and has a roof form that is separate from the main house.

Standards

Width, clear	10' minimum	A
Depth, clear	8' minimum	B
Height, clear	8' minimum	C
Finished level above sidewalk	18" minimum	D
Clear space	4' x 8' minimum	E
Circulation space	3' wide minimum	F



Key

- ROW / Property Line
- Setback Line

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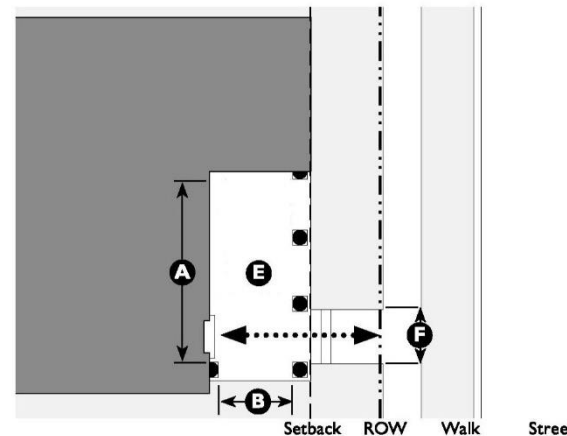
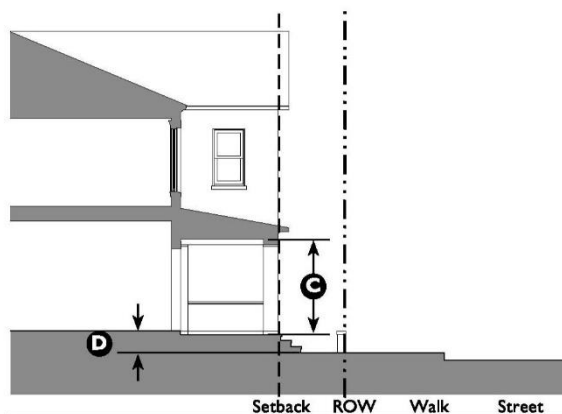
PORCH – ENGAGED

Context

The main façade of the building has a small setback from the property line. The resulting front yard is typically very small and may be undefined or defined by a fence or hedge to spatially maintain the edge of the street. The engaged porch may be one or two stories, can be partially or fully enclosed on two sides, and must have a roof.

Standards

Width, clear	10' minimum	A
Depth, clear	8' minimum	B
Height, clear	8' minimum	C
Finished level above sidewalk	18" minimum	D
Clear space	4' x 8' minimum	E
Circulation space	3' wide minimum	F



Key
 - - - - ROW / Property Line
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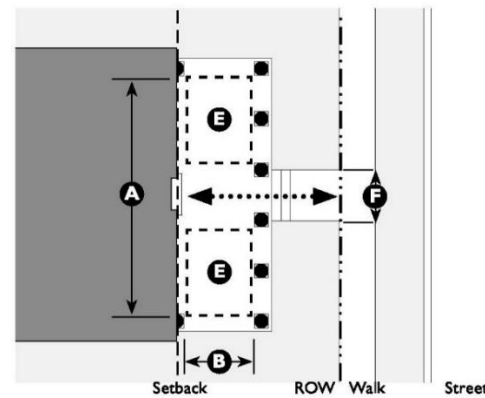
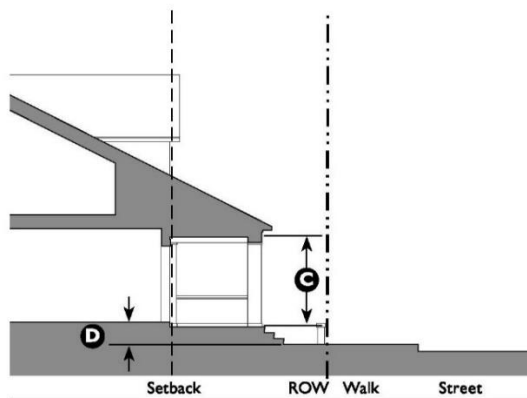
PORCH – INTEGRAL

Context

The main façade of the building has a small setback from the property line. The resulting front yard is typically very small and may be undefined or defined by a fence or hedge to spatially maintain the edge of the street. An integral porch is part of the overall massing and roof form of a building. With an integral porch it is not possible to remove the porch without major changes to the overall roof form.

Standards

Width, clear	8' minimum	A
Depth, clear	8' minimum	B
Height, clear	8' minimum	C
Finished level above sidewalk	18" minimum	D
Clear space	4' x 8' minimum	E
Circulation space	3' wide minimum	F



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 - - - - ROW / Property Line
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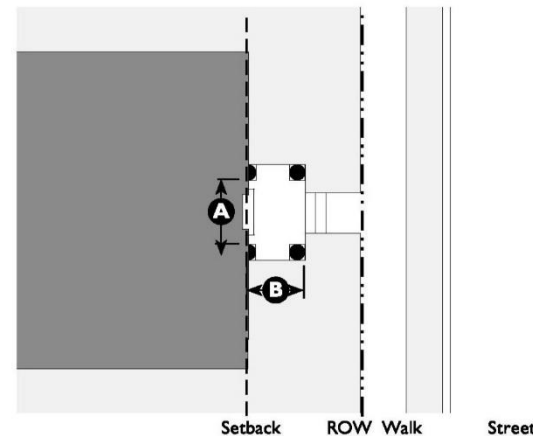
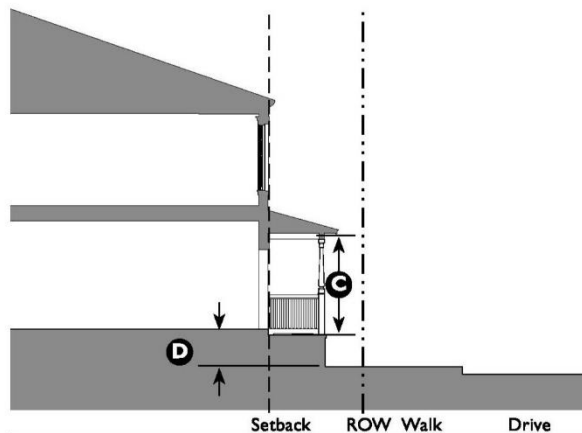
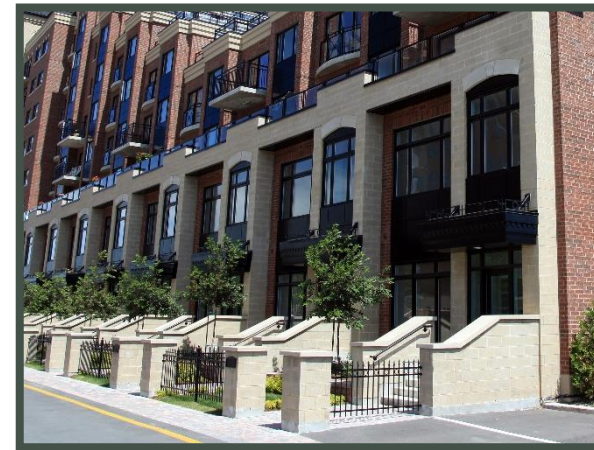
STOOP

Context

The main façade of the building is near the property line and the elevated stoop engages the sidewalk. The stoop shall be elevated above the sidewalk to ensure privacy within the building. Stairs from the stoop may lead directly to the sidewalk or may be side-loaded.

Standards

Width, clear	5' minimum, 8' maximum	A
Depth, clear	5' minimum, 8' maximum	B
Height, clear	8' minimum	C
Finished level above sidewalk	18" minimum	D
Recessed entry	4' maximum depth	
Stairs may be perpendicular or parallel to the building façade.		
Ramps shall be parallel to the façade.		
The entry door shall be covered or recessed to provide shelter from the elements.		
Gates are not permitted on stoops.		



Key

- ROW / Property Line
- Setback Line

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FORECOURT

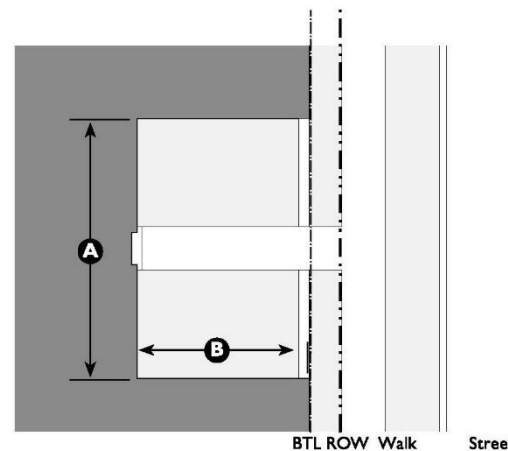
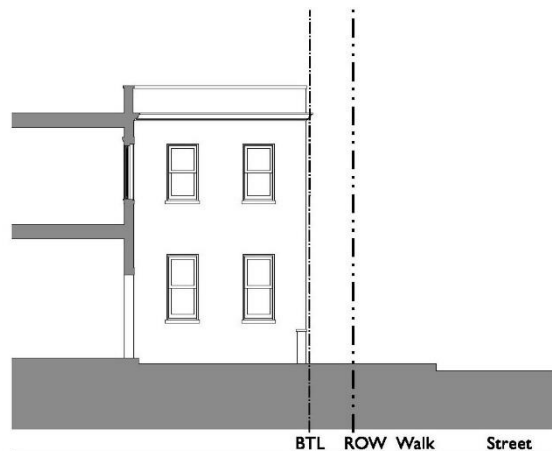
Context

A portion of the main façade of the building is at or near the property line and a small portion is set back, creating an open court space. The space could be used as an entry court or shared garden space for apartment buildings, or as an additional shopping or restaurant seating area within commercial areas. The proportions and orientation of these spaces should be carefully considered for solar orientation and user comfort. There is no roof over a forecourt.

Standards

Width, clear	12' minimum	A
Depth, clear	12' minimum	B

A wall, hedge, or fence no taller than 3' shall be placed in line with the building façade (commonly referred to as the "build to line").



Key

- ROW / Property Line
- Build-to Line (BTL)

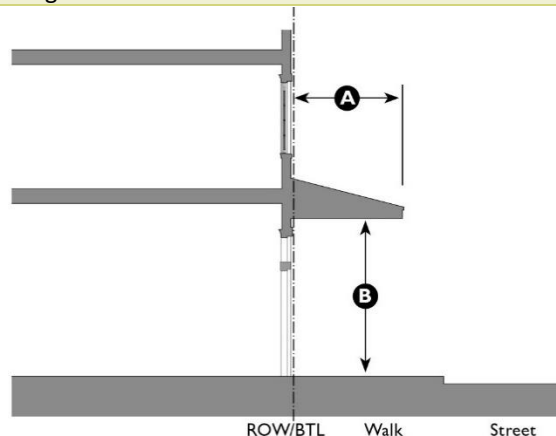
SHOPFRONT

Context

The main façade of the building is at or near the property line and a canopy or awning element overlaps the sidewalk along the majority of the frontage.

Standards

Wall space between shopfront windows or doors	2' maximum	
Awning depth	4' minimum	A
Awning height, clear	8' minimum	B
Awning distance from curb	2' minimum	
Transparency at the ground floor	75% minimum	
Door Recess	5' maximum	
Stairs may be perpendicular or parallel to the building façade.		
Commercial windows only, no residential windows at the ground floor.		
Door recess allowed only if ground floor façade is at the Built to Line (BTL).		
Movable window walls/ doors that allow commercial spaces to open to the street are encouraged.		



Key
 ---- ROW / Property Line
 ---- Built-to Line (BTL)

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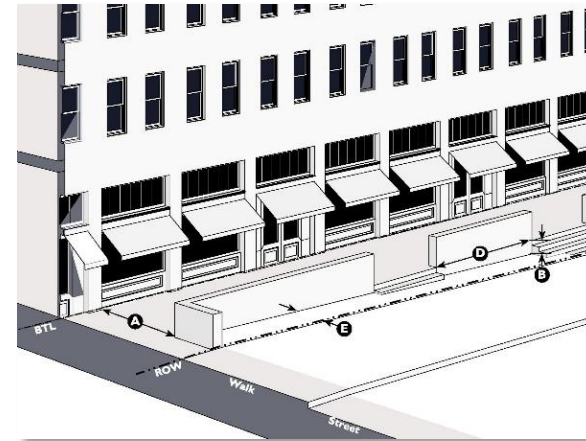
TERRACE SHOPFRONT

Context

The terrace allows at-grade access to all shopfronts. The terrace is accessed at grade and as the sidewalk follows the slope, the terrace follows the plane of the shopfront finished floor level. Frequent steps from the sidewalk to the terrace are necessary to avoid a dead wall along the sidewalk and to maximize access to the spaces. The standards found here are to be used in addition to those set forth in the **Shopfront** section.

Standards

Depth, clear	8' minimum	A
Finished level above sidewalk	42" maximum	B
Length of terrace	120' maximum	C
Distance between stairs	15' maximum	D
Wall setback from right-of-way (ROW)	12" minimum	E
Low walls shall be made to be used as seating wherever possible.		
See Shopfront standards for additional requirements.		



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GALLERY

Context

The main façade of the building is at the frontage line and the gallery projects over the sidewalk. This frontage type is intended for buildings with ground-floor commercial or retail uses and may be one or two stories. The gallery must extend close enough to the curb so that a pedestrian cannot bypass it. Due to the gallery's projection over the public right of way, a public access easement over private property is required. Galleries must have a consistent depth along a frontage. The standards found here are to be used in addition to those set forth in the **Shopfront** section.

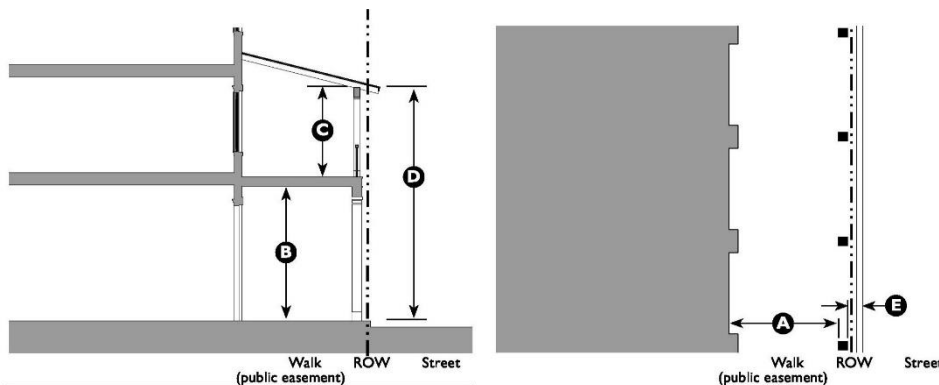
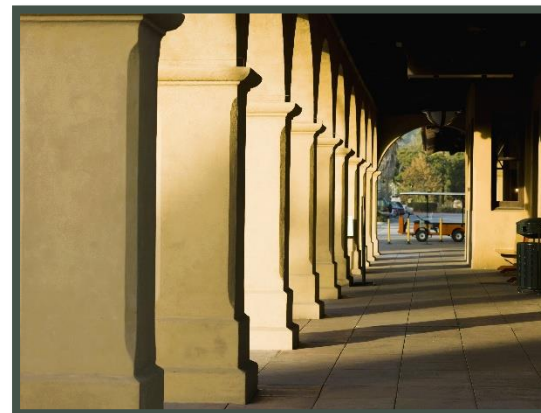
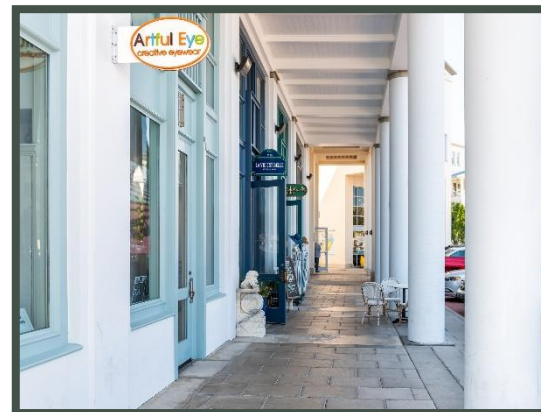
Standards

Depth, clear	8' minimum	A
Ground floor height, clear	11' minimum	B
Upper floor height, clear	9' minimum	C
Building height	2 stories maximum	D
Setback from curb	1' min., 2' max.	E

Upper story galleries facing the street shall not be used to meet primary circulation requirements.

Lighting is required in the gallery to illuminate the sidewalk consistent with the requirement of the City's Security Ordinance.

See **Shopfront** standards for additional requirements.



Key
 - - - - ROW / Property Line
 ——— Build-to Line (BTL)

UNIVERSAL OBJECTIVE DESIGN STANDARDS



SITE PLANNING

Building Placement and Orientation

- 1a:** Building frontage shall be oriented towards adjacent public streets, with individual entries, patio areas and landscaping facing the street.
1b: Parking areas and carports shall not be located along street frontages and shall be located to the side and rear of the buildings.

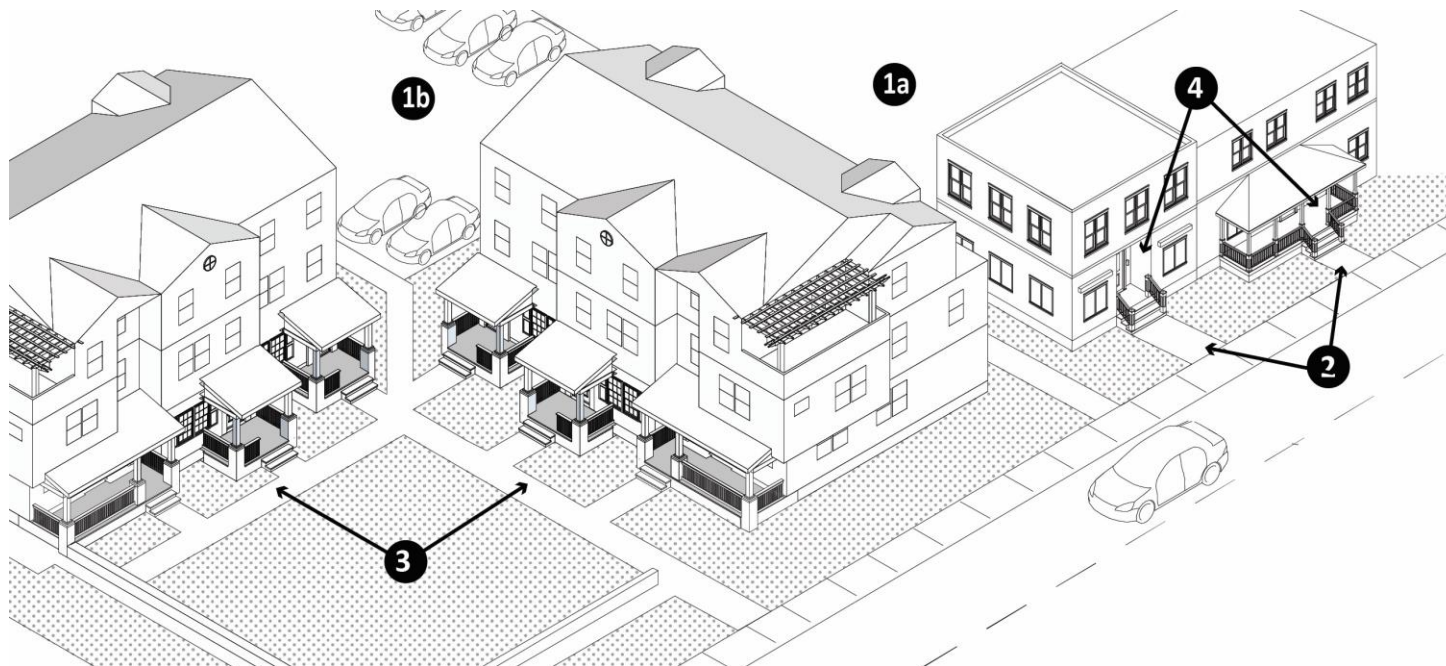
2 Direct pedestrian access shall be provided to connect each unit (or building) entry to the sidewalk at the public right of way.

3 For buildings without frontage along a primary street, unit entries shall be oriented to face internal common open space areas such as landscaped courtyards, plazas, or paseos.

4 Each ground floor unit fronting a primary or side street shall have at least one street-facing porch or patio.

5 Connected back-to-back units with garage expression on opposite façades are prohibited.

6 Tandem garages are prohibited.



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Building Placement and Orientation (continued)

- 7 Multiple-lot developments shall provide access to individual lots from an internal street system rather than create additional driveways along public street frontage.
- 8 Each site shall provide at least one pedestrian or bicycle connection to adjacent sidewalks, bike lanes, or neighborhood pathways/trails at least every 400' of linear building frontage to connect neighboring developments.
- 9 At least 50% of all western-facing transparent building surfaces shall contain at least one of the following:
 - a. Operable window or door shutters.
 - b. Window awnings.
 - c. Transparent and ultraviolet-resistant window and door coatings or films.



Common Facilities

- 1 Clustered mailboxes shall utilize the same colors and materials as the closest on-site building.
- 2 Separate secure mailbox/package delivery/pick-up areas shall be provided for residential and commercial components of a project.
- 3 Each project shall provide one outdoor recreation/amenity feature for every 100 residential units. For purposes of this standard, an outdoor recreation/amenity feature includes any of the following:
 - a. Outdoor eating area with covered picnic tables and chairs that provides shade from the sun
 - b. Outdoor kitchen space with barbeque or cooktop
 - c. Fire pit surrounded with outdoor chairs
 - d. Sport court including bocce, basketball, horseshoes, or similar.
 - e. Amphitheater/outdoor movie space or pavilion
 - f. Workout room with exercise machines
 - g. Pool, spa, or hot tub



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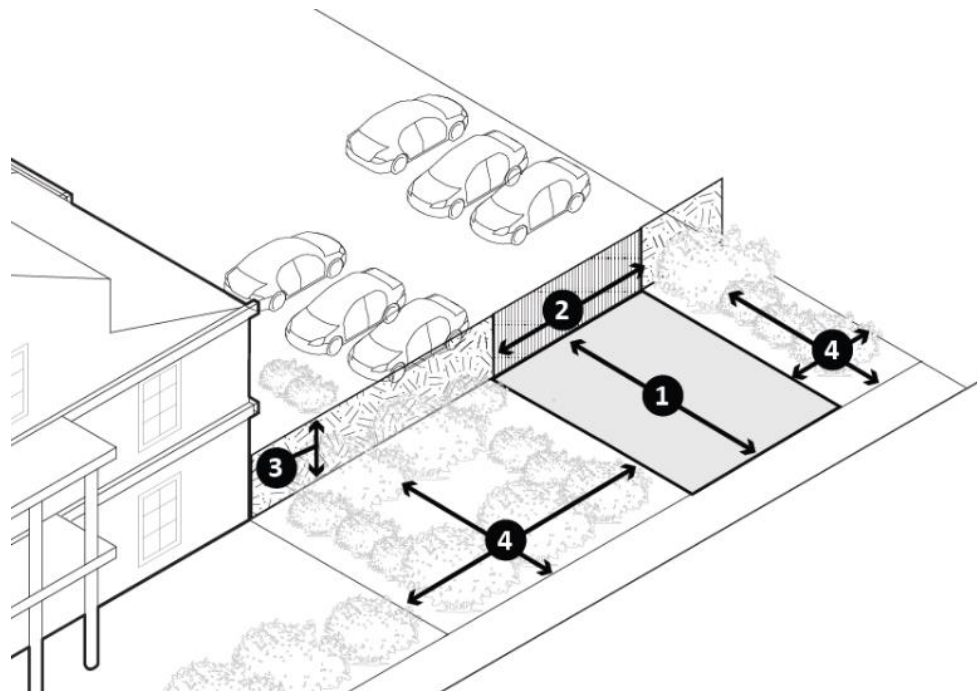
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Parking Area Screening

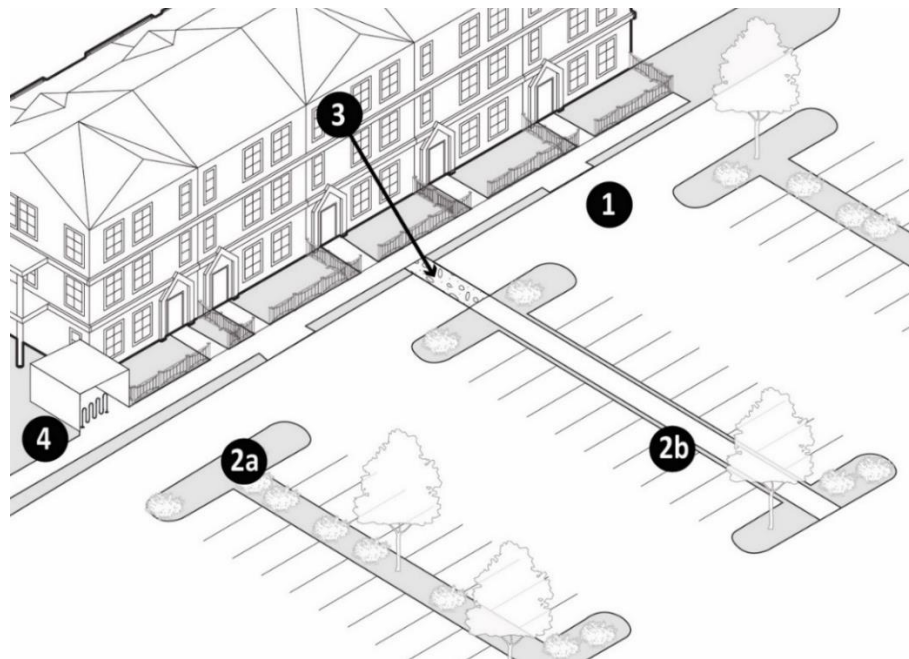
All surface parking areas shall provide screening to create a landscaped buffer between the parking area and the public street.

- 1 Controlled entrances to parking facilities (gates, doors, movable barriers) shall be located a minimum of 18' from the back of sidewalk to accommodate one vehicle entering the facility off of the adjacent street.
- 2 Surface parking areas shall not be visible from a public right of way frontage for more than 25% of the parcel width. For example, a parcel with 100 linear feet of public street frontage shall have no more than 25 linear feet of surface parking that is visible from the public street.
- 3 Landscape buffer screening will be created by a solid fence, wall, or landscape hedge between 48-60 inches tall.
- 4 Landscape buffer screening area shall be at least 10' deep (measured from the back of sidewalk to the parking lot paving) and shall be the width of the surface parking area (except for the driveway).



Parking Lot Layout

- 1** All outdoor parking areas of more than 50 spaces shall be divided into smaller units to decrease various impacts associated with large expanses of pavement and vehicles, and to facilitate safe and efficient pedestrian movement between parking areas and building entries.
- 2a:** Landscaped medians of at least 3' in width shall be provided between parking bays that face each other.
2b: Landscaped medians can include pedestrian walkways.
- 3** Parking areas shall include designated pedestrian walkways to building entrances.
- 4** Covered bicycle parking shall be provided adjacent to building entrances.
- 5** When bicycle parking is not visible from the street, directional signage to the bicycle parking area shall be located at the main building entrance. If there is no main building entrance, bicycle parking directional signage shall be near a common open space area.
- 6** All crosswalks shall be raised and be a different color and/or material than the parking lot surface.



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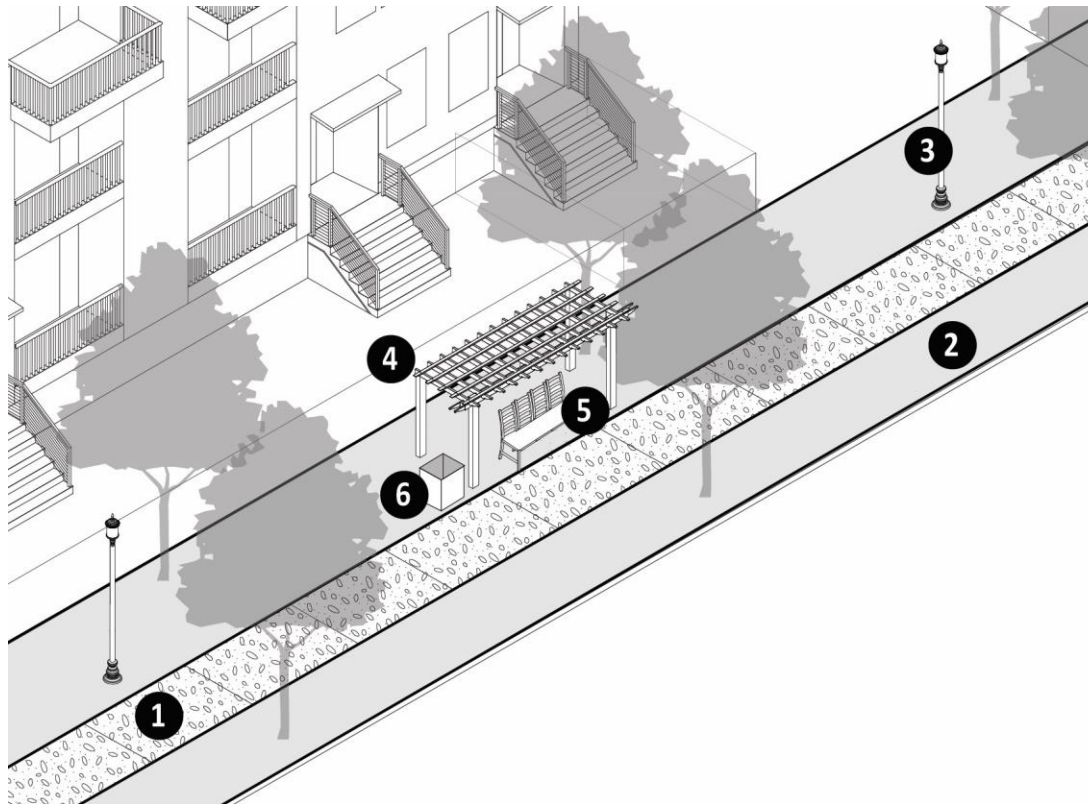
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Pedestrian walkways and pedestrian spaces shall include the following elements:

- 1 Differentiated paving materials with raised surfaces;
- 2 Landscaping adjacent to the walkway; and
- 3 Pedestrian-scaled lighting.

Optional and desirable elements include:

- 4 Trellis or other shade structures;
- 5 Seating
- 6 Waste receptacle(s) next to any seating.



BUILDING DESIGN

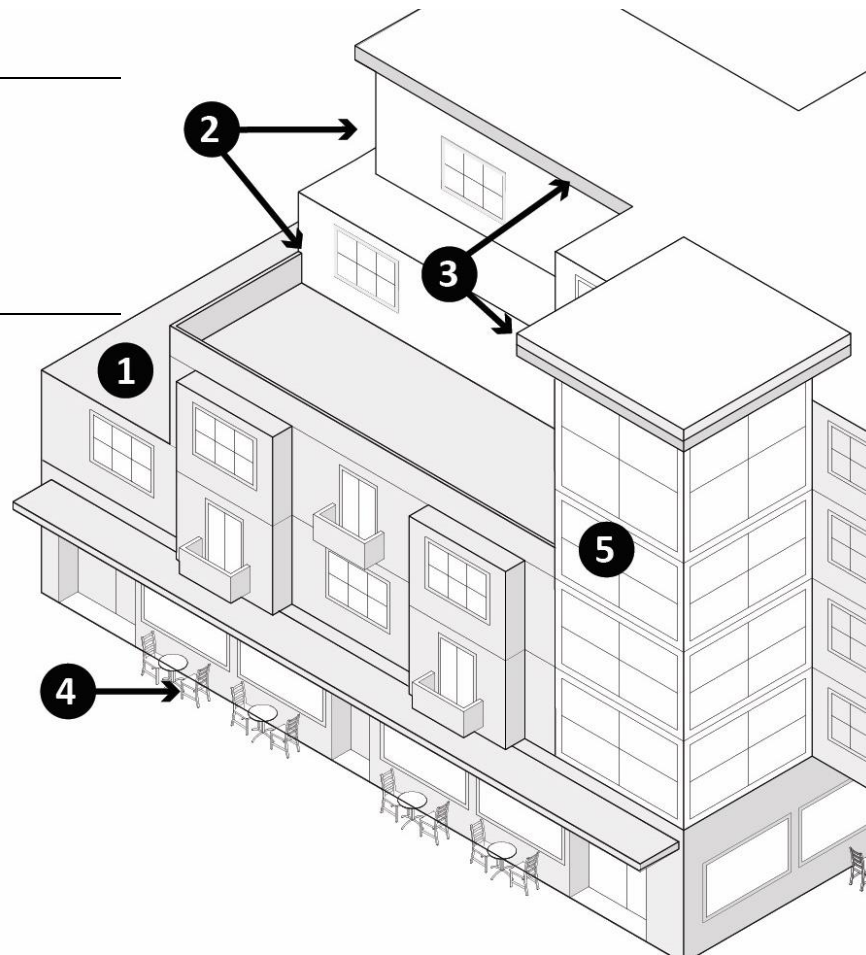
Building Form

All buildings of 4+ stories shall differentiate the uppermost floor through one of the following means, as applicable to the architectural style:

- 1 Lighter color and different material than primary building body.
- 2 Additional setback beyond required ground-floor setback, as follows:
4 stories: 12 inches minimum
5+ stories: 24 inches minimum
- 3 Roof cornice with the following features:
4 stories: 12-inch overhang minimum
5+ stories: 24-inch overhang minimum
12-inches in height, minimum
At least two distinct molding types

Site Amenities

- 4 Outdoor, streetside amenities for commercial and residential uses are desirable when use and location allow.



5 Where buildings:

- are located at an intersection involving a major street (as defined in the General Plan),
 - are located at the intersection of gateway intersections (intersections at the City boundary or the boundary of any specific plan),
 - front public parks or plazas, or
 - anchor unique corners where sites create acute or obtuse angles,
- a prominent architectural corner treatment of the building mass is required. For purposes of this standard, a prominent architectural corner treatment of the building mass includes any of the following:
- a. Rounded or angled corner.
 - b. Location of building entrance on corner.
 - c. Embedded corner tower.

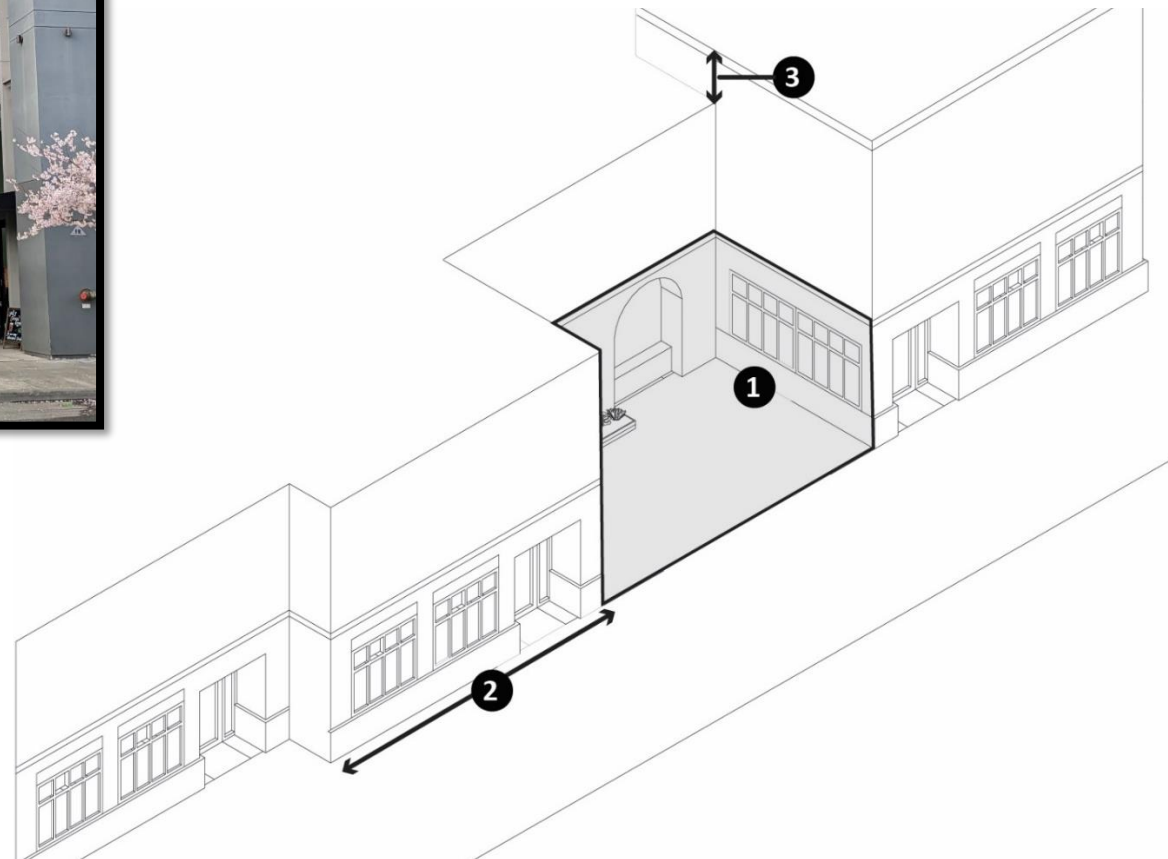
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Minimize Massing

On building façades between 100' and 200' in length, there shall be at least one wall plane change located in the middle two-thirds of the façade. The wall plane change shall be a minimum of 1' deep and 2' wide.

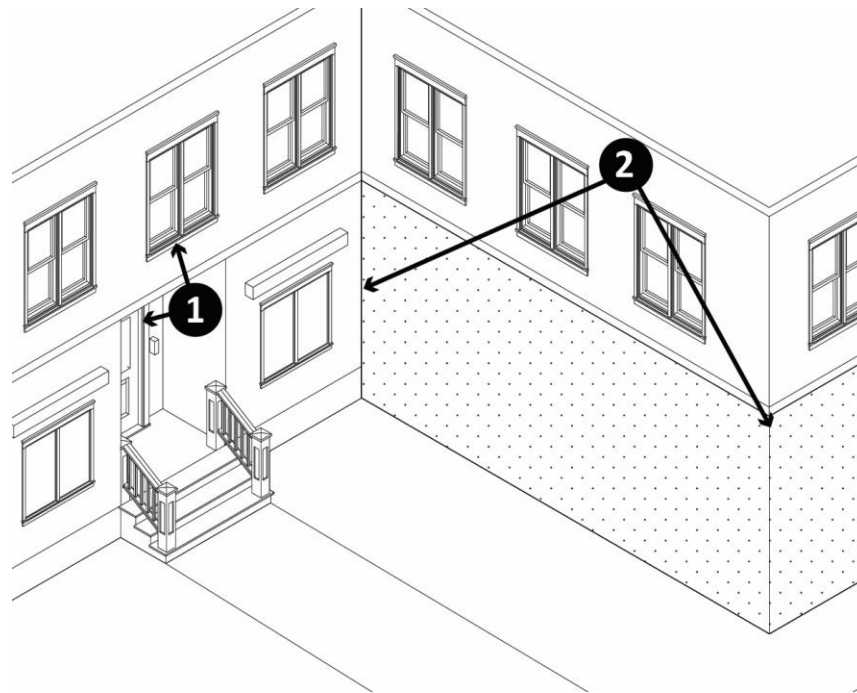
On building façades 200' or greater in length, the following features shall be provided to relieve the building mass and add variation.

- 1 A minimum 20' wide and 10' deep mid-block open space, building entry, or courtyard space.
- 2 A minimum 25' long and 2' deep wall plane change for every 100' of building length.
- 3 A minimum 25' long and 2' tall roof plane change for every 100' of building length.



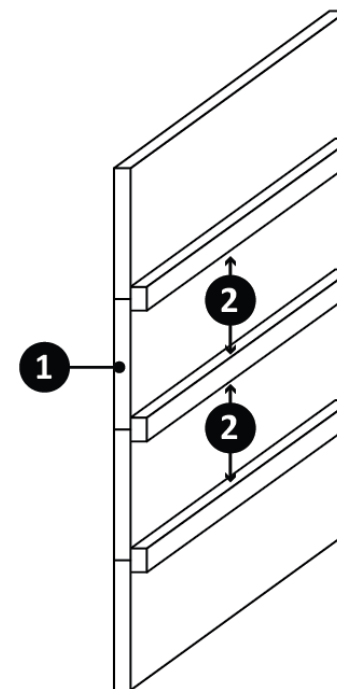
Windows, Walls, and Doors

- 1 Unless allowed by the architectural style defined in **Section 2: Architectural Styles**, windows shall not be flush with the adjacent wall plane and shall be recessed a minimum of 2 inches.
- 2 Along any exterior building walls, material transitions shall only occur on the inside corner of plane change.
- 3 Negative space areas on public-facing façades shall not exceed 10' in width by 10' in height (100 square feet in total). For the purposes of this standard, negative space is defined as blank wall surfaces that lack ornamentation, architectural elements, detailing, fixtures, plane changes, or openings such as arcades, windows, and doors.
- 4 Reflective glazing is prohibited.
- 5 For multiple units with entry doors on the same building façade, entry door design, and details shall vary from unit to unit.



Materials and Colors

- 1 A minimum of 5/8 inch thickness is required for any wood (or wood-substitute) siding.
- 2 If wood paneling (or cement fiber wood-like paneling) is used for a board and batten appearance, battens shall be incorporated into the paneling every 12 inches.
- 3 A minimum of 1 inch thickness is required for any brick or stone veneer.
- 4 Unless otherwise required by the architectural style as defined in **Section 2: Architectural Styles**:
 - At least two materials shall be used on any building façade in addition to window glazing, doors, railings, or other decorative architectural elements. A secondary material shall comprise at least 20% of the square footage of the building façade.
 - At least two colors shall be used on each building façade.
- 5 Exposed vents, flashing electrical conduits, and gutters, downspouts, pipes and similar features used to collect roof runoff shall be painted the same color as the surface to which they are adjacent. Copper gutters or downspouts may be treated as a design element and are not required to be painted to match the adjacent surface.
- 6 Neon or fluorescent building colors are prohibited.
- 7 Shiny metal or other reflective surfaces that produce glare or discernable shine are prohibited. Primary and secondary building materials and paint colors shall have a matte or satin finish.
- 8 Detached garages and carports shall be designed in the same style as the primary building.
- 9 Only those portions of a flat roof that are not visible from the ground level shall have white or light-colored roofs that reflect sun and solar heat gain.
- 10 For Townhome-style projects of four or more units, each unit shall employ different body and front door colors than its adjacent unit.



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Fire Risk Mitigation

Properties located along the Wildland Urban Interface (WUI) and in a High or Very-High Fire Hazard Severity Zone, as determined by the CA Department of Forestry and Fire Protection (CalFire), shall meet all of the following requirements:

- 1 Fire-resistant roof and eave materials must be used on all buildings.
- 2 Non-combustible materials, such as metal, stone, or brick, must be used for all walls and fencing within 5 feet of buildings.
- 3 Only fire-resistant shrubs and groundcovers are permitted.
- 4 Building setback areas from property lines directly along the WUI must also comply with the following:
 - a. No landscaping or other combustible groundcover material is permitted within 5 feet of the building.
 - b. Non-combustible materials must be used for attached awnings and patio covers.
 - c. No trees are permitted within 30 feet of the building.



LANDSCAPING

Native Plants

- 1 On-site trees that meet the thresholds identified in the Tree Preservation Ordinance shall be preserved and incorporated into development and landscape plans, unless tree retention is not recommended by a certified arborist.
- 2 A minimum of 50% of all new tree plantings shall be California natives.
- 3 A minimum of 30% of all new shrub plantings shall be pollinators.
- 4 Invasive species shall not be used.
- 5 Plants, shrubs, and trees with edible fruit (including those within onsite community gardens) are encouraged and, if used, shall occur on privately-maintained property, separated from neighboring properties by a fence or wall, and be located a minimum of 50 feet from all public rights-of-way.



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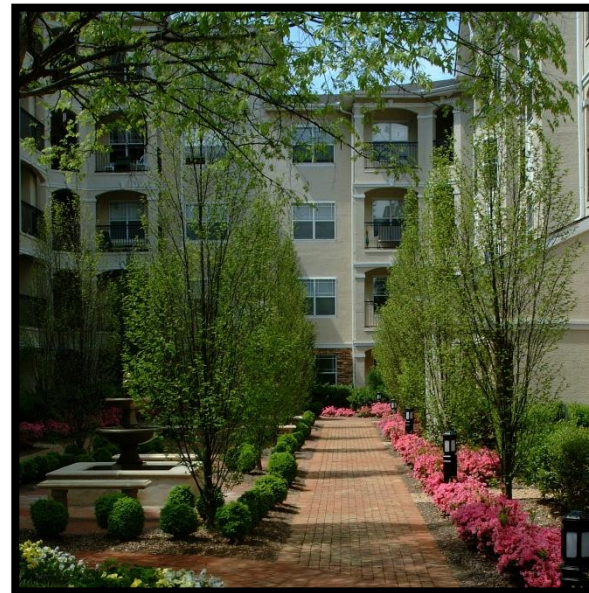
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Site Landscaping and Plant Size

- 1** A minimum of 25% of the site, excluding building footprint areas, shall be landscaped and contain pervious surfaces. For purposes of this standard, green roofs shall be counted towards meeting this requirement.
- 2** The following minimum sizes shall be used for plant materials at the time of installation:
 - Groundcover shall be a minimum 1-gallon pot size.
 - Shrubs shall be a minimum 5-gallon pot size.
 - Trees on private property shall be a minimum 15-gallon pot size.
 - 20% of all trees on private property shall have a 24-inch box container size or larger.
 - Street trees shall be 24-inch box size and comply with the City of Livermore Standard Details.
- 3** The largest plant materials being used on the project site shall be located in areas that are visually prominent such as entries and along main frontages, as well as in areas requiring the most shade (parking lots, plazas, courtyards, etc.)



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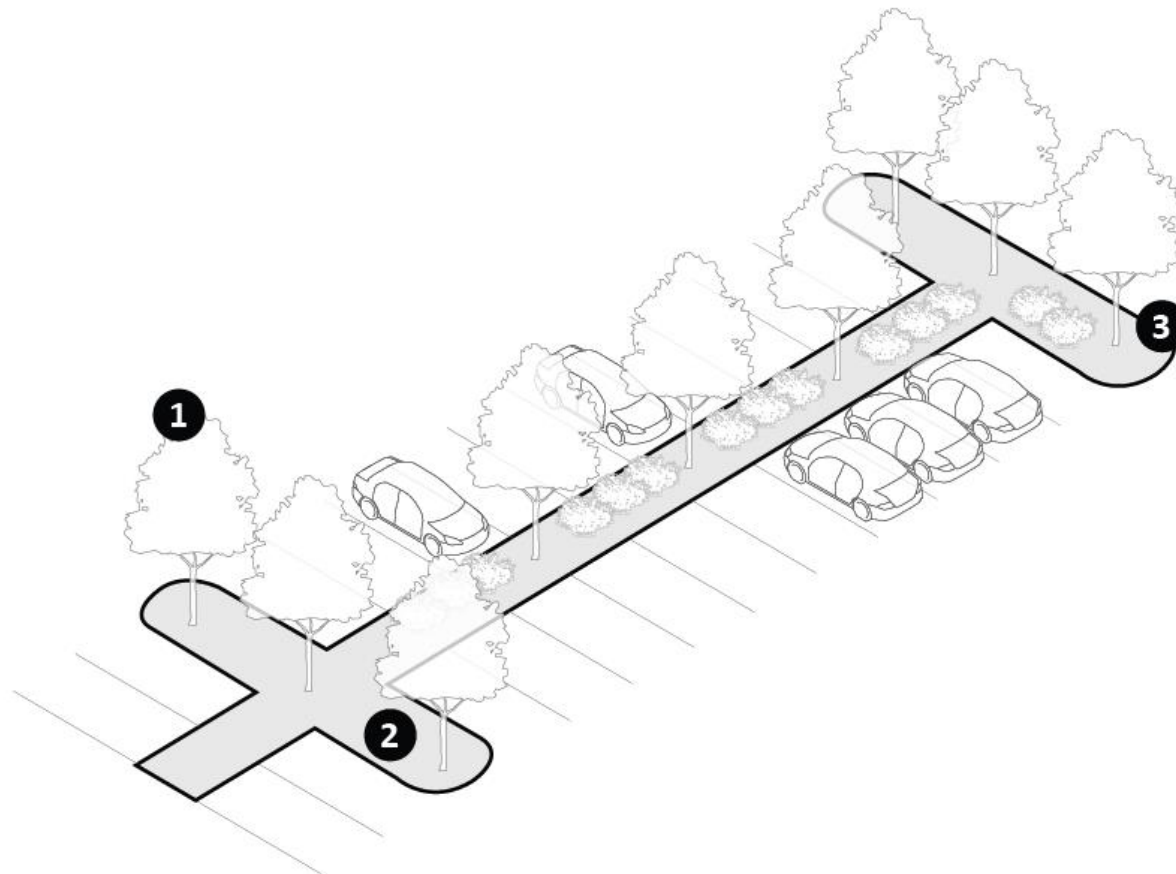
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Parking Lot Landscaping

- 1 Broad branching (not columnar) shade trees at a minimum ratio of three trees per 10 parking spaces.
- 2 One landscape island at least 9' wide per every 10 parking spaces.
- 3 Curbed planter areas shall be provided at the end of each surface parking lot drive aisle to protect parked vehicles from the turning movements of other vehicles.



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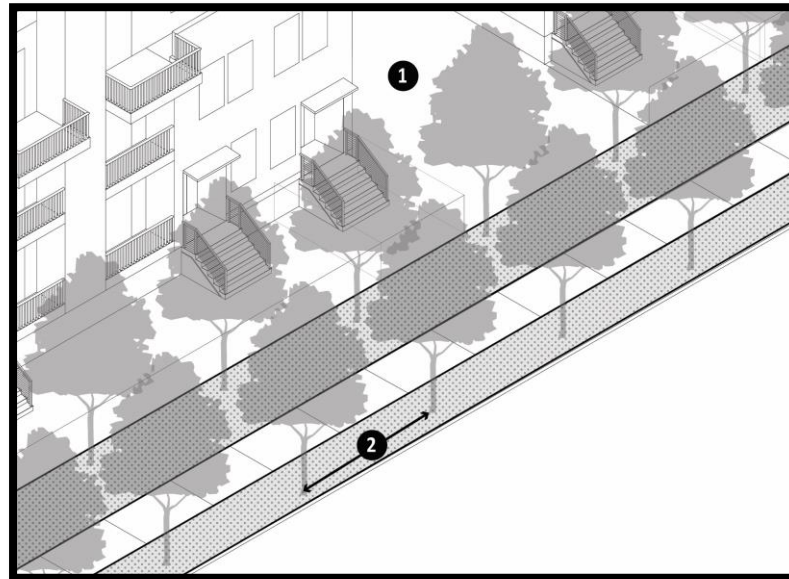
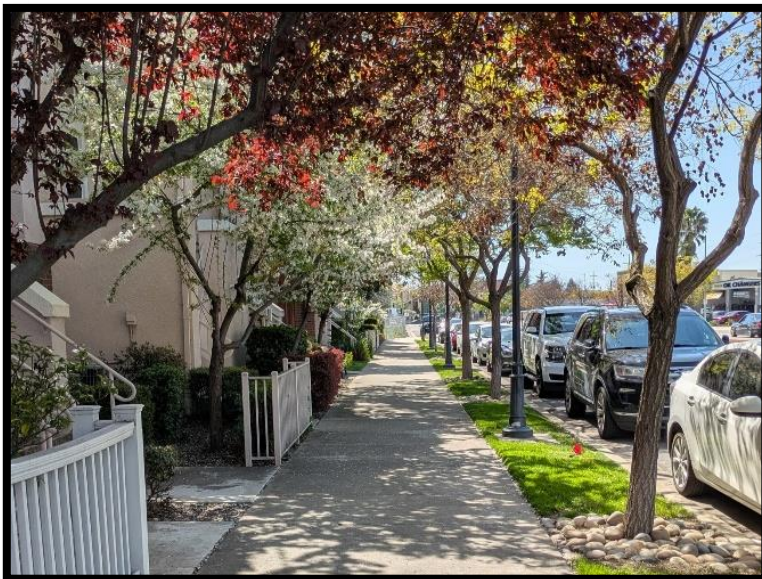
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Planting Location and Design

- 1** A double row of trees shall be provided along all public streets. This shall include one row of tall, broad-branching shade trees that will cover the sidewalk and at least 8' of the adjoining parking area, bike lane, and/or travel lane located within the landscape strip and one row located on the private property side of the sidewalk. If a monolithic sidewalk is used, then a double row is still required on the private property side of the sidewalk.
- 2** Along all project frontages, a continuous row of trees shall be provided, such that all tree canopy spreads are contiguous.
- 3** Each project shall provide at least one on-site tree per ten residential units, excluding all street trees.
- 4** All areas between the sidewalk and a building façade shall be landscaped and properly irrigated, except for hardscape areas required for path of travel, porches, stoops, driveways, and utilities.
- 5** For projects constructing new sidewalks (and not replacing existing), five-foot-wide planting strips between the sidewalk and the back of the curb on all public rights of way are required.
- 6** All shrubs and groundcover shall comply with Livermore Development Code Figure 4.13, pertaining to Vehicle Sightlines.
- 7** Landscaping shall be installed prior to occupancy of the building, and for phased developments, shall be installed along the entire public street frontage during the first phase.



Site Shading

- 1** Each applicant shall submit a shade analysis demonstrating that the following minimum shading requirements have been met on the project site:
 - a. Parking Lots: A minimum of 50% of all unenclosed parking areas shall be shaded.
 - b. Sidewalks and Pathways: A minimum of 75% of each sidewalk and pathway shall be shaded.
 - c. Common Facilities: A minimum of 50% of all outdoor common facilities shall be shaded. For purposes of this standard, common facilities include any surface-level and communal seating area, plaza, outdoor barbeque, picnic area, etc.

 - 2** Shade can be provided through a combination of the following
 - a. Tree canopy at 15-year maturity
 - b. Structural shade elements such as covered walkways, patio covers, trellises, pergolas, shade sails, and/or solar canopies.

 - 3** Shade calculations shall be based on the summer solstice at 12:00 p.m.
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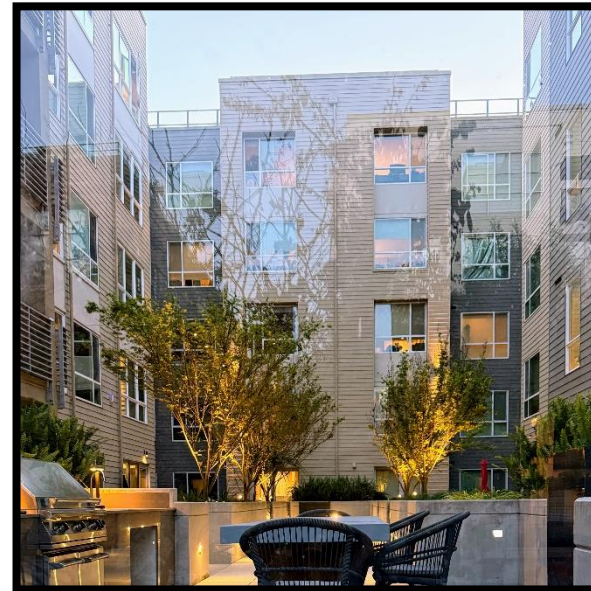
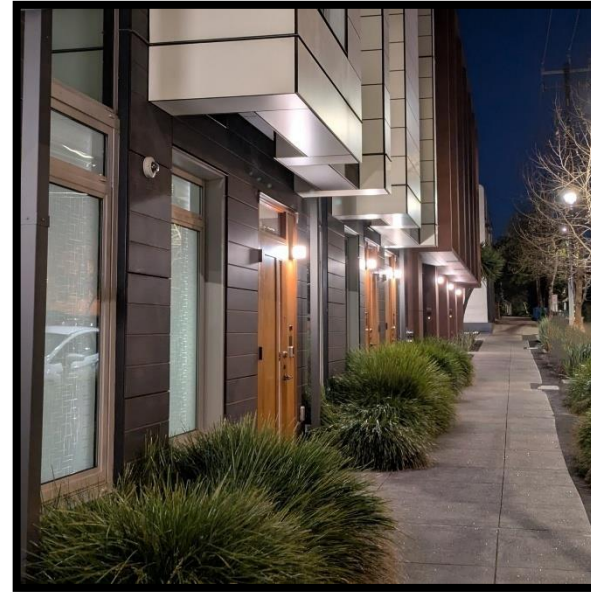
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LIGHTING

- 1 The height of luminaries shall not exceed 18' from adjacent grade.
- 2 Outdoor lights that blink, revolve, flash or change intensity are prohibited.
- 3 Lighting shall have shields to prevent spillover, and the light source (bulb) shall not be visible from beyond the property line.
- 4 The light source for any externally-illuminated signs shall be positioned so that light is only received by the sign and does not spill over onto adjoining properties. The light source (bulb) shall not be visible to pedestrians or motorists.
- 5 Minimum levels of illumination along pedestrian paths between destinations is 0.5 foot-candles. At pedestrian destination points such as entryways, plazas and courtyards, lighting levels shall achieve illumination of 1 foot-candle.
- 6 Illumination shall achieve a lighting level of 1 foot-candle on the parking lot surface.



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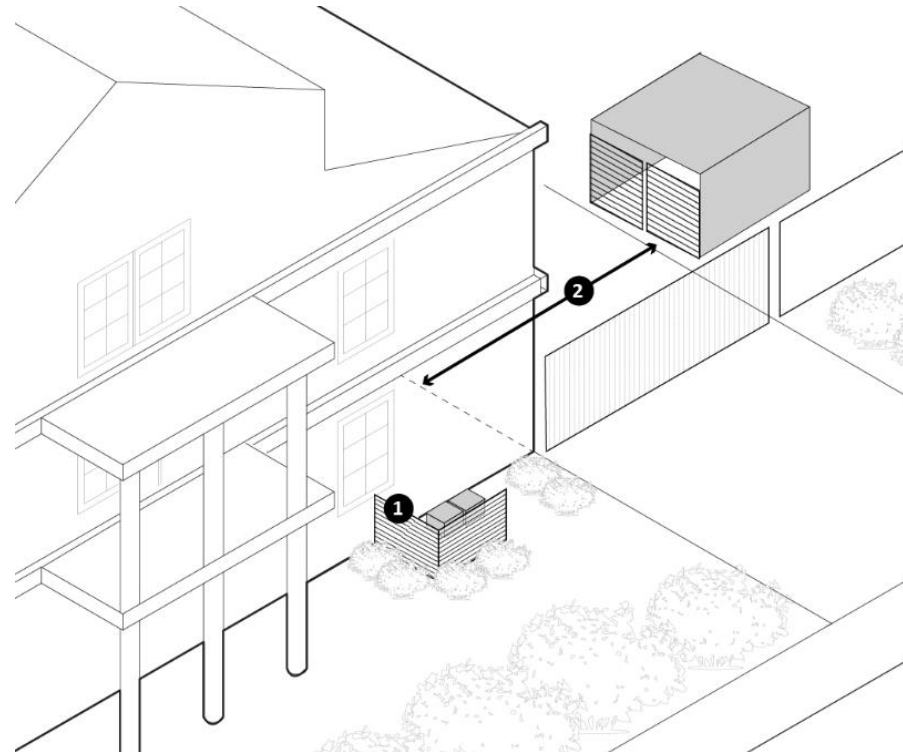
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ANCILLARY STRUCTURES

Location and Screening

- 1 Utility and mechanical equipment, including electrical meters and gas service, shall be screened by a material that provides at least 50% opacity by landscaping, louvers, fences, or enclosures that use the same materials and colors as the main building(s). Screening methods may also be gated outdoor rooms or screening behind wing walls that are part of the building elevation.
- 2 Locate exterior trash enclosures so that no dwelling is closer than 25' (including those on adjacent properties), or more than 125' from a residential unit.
- 3 Trash enclosures shall be located and oriented so as to provide adequate truck access, shall have a 3' landscape planter around the perimeter, and shall be sized to accommodate the needed number of trash bins to serve the project.
- 4 Utility and mechanical equipment, including HVAC, shall not be located within a required common open space area or active open space area.
- 5 Backflow prevention devices shall be surrounded by landscaping that will grow to the height of the backflow unit within one year of planting. The plants shall be spaced so that their spread is overlapping at maturity, which will be dictated by the species chosen.
- 6 Heating, ventilation, and air conditioning (HVAC) units located on exterior walls or patios shall be completely screened from view by a solid wall at least as tall as the HVAC unit and constructed with the same materials and colors as the adjacent building.



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Utility and Mechanical Equipment

- 1 Heating, Ventilating, or Air Conditioning (HVAC) units shall not be located on above-ground balconies.
- 2 Roof-mounted mechanical equipment:
 - Shall be located a minimum of 10' from occupiable rooftop areas.
 - Shall only be allowed for architectural styles with parapets or roof wells designed to completely screen the equipment.



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Trash Enclosure Design

- 1 Roof and wall colors and materials shall match the primary building's architectural style.
- 2 Shall have solid gates with latches that secure and screen all waste receptacles (bins and carts) within.
- 3 All waste receptacles shall be fully screened from public view.
- 4 Lighting shall be provided in and around trash enclosures for nighttime security, safe access, and use.
- 5 For projects utilizing individual cart service for each unit, each unit garage shall provide sufficient space for all required containers.



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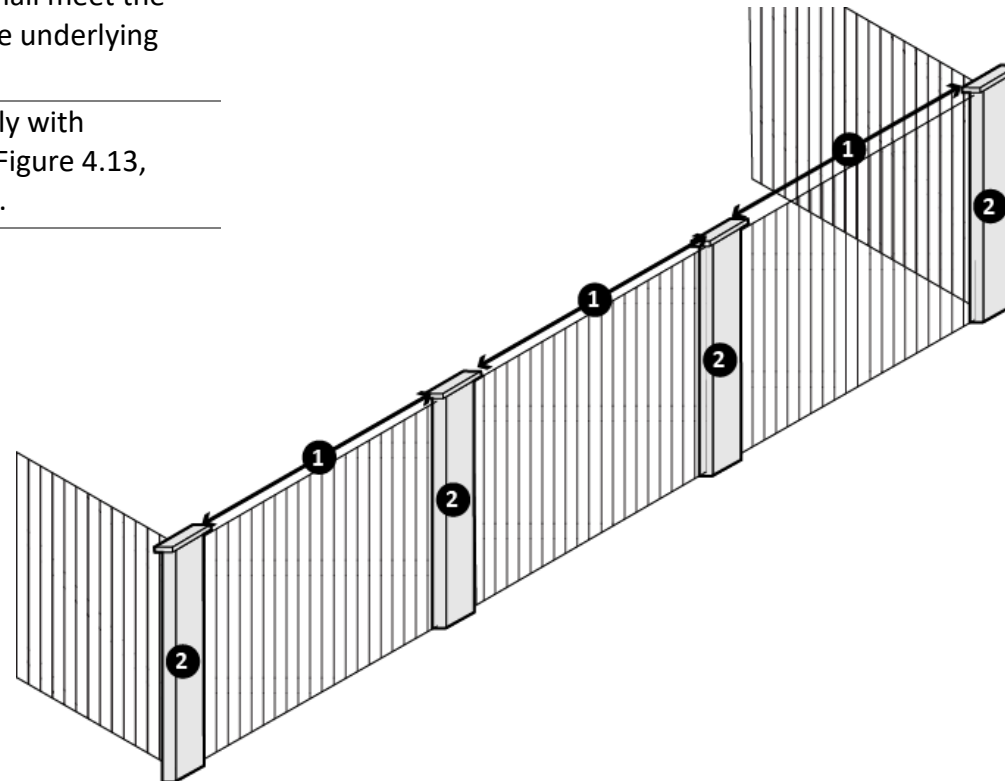
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Fences and Walls

- 1, 2** For all fences or walls above 4' in height, decorative posts, pilasters, or columns shall be used every 15' to break up horizontal massing:
- 1** Maximum 15'
- 2** Decorative posts, pilasters, or columns
- 3** Fences and walls shall not exceed 6' in height.
- 4** Fences and walls shall be constructed of durable materials like wood, masonry, metal, concrete, or similar.
- 5** Fences and walls may be located on property lines, except that fences and walls above 3' in height along street frontages shall meet the required building setback of the underlying zoning district.
- 6** All fences and walls shall comply with Livermore Development Code Figure 4.13, pertaining to Vehicle Sightlines.



COMMERCIAL PORTIONS OF MIXED-USE DEVELOPMENT

The following standards apply to the commercial or other active ground-floor portions of a mixed-use project.

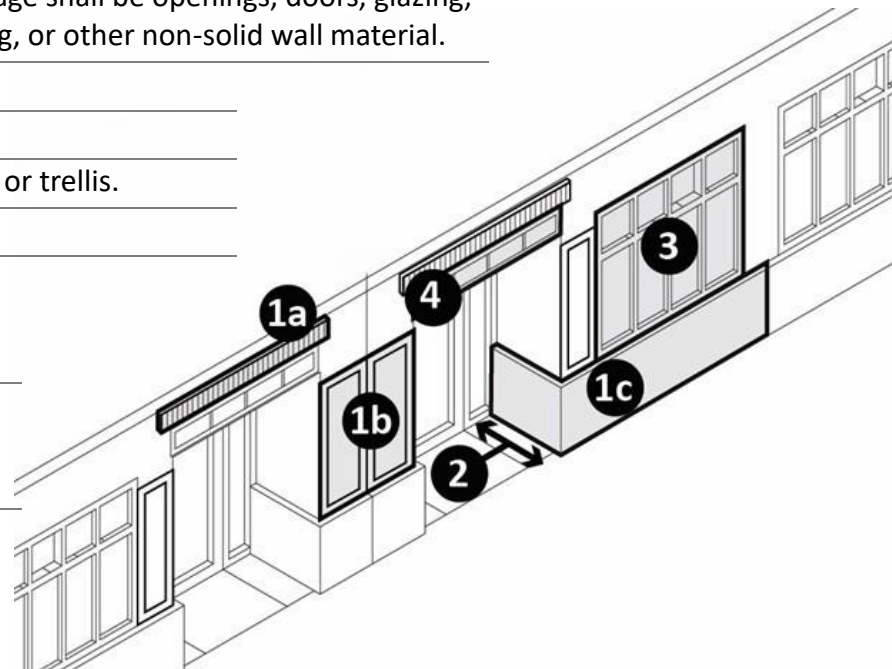
As allowed by the architectural style as defined in **Section 2: Architectural Styles**, buildings shall use at least three of the following six elements on the ground floor:

- 1 Architectural detailing at the storefront entry that is not found elsewhere on the building, including:
 - a) Soldier course/sailor course
 - b) Wainscot
 - c) Bulkhead material change. Bulkhead wall shall be at least 12 inches, but no more than 24 inches, in height.
- 2 Plane breaks at the ground floor including inset or protruding storefront entries/doors by a minimum of 24 inches.
- 3 At least 50% of the ground-floor building frontage shall be openings, doors, glazing, trellises or other vertically-oriented landscaping, or other non-solid wall material.
- 4 Transom windows.
- 5 Canopies or awnings at the storefront.
- 6 Arcade over the storefront with a covered roof or trellis.

All windows shall have transparent glazing.

Ground-floor commercial spaces shall be at least 12' in height measured from the grade of the adjacent sidewalk or walkway.

All retail tenants on the ground floor facing the primary street shall have a direct pedestrian entry connection to the sidewalk.



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GLOSSARY OF TERMS



GLOSSARY OF TERMS

Accent material. An accent material is one that is supplementary to the primary material(s) on a building.

Arcade. A roofed passageway or lane. A series of arches supported by columns, piers, or pillars, either freestanding or attached to a wall to form a gallery.



Architectural feature. Exterior building element providing ornamentation to the building massing such as eaves, cornices, bay windows, window and door surrounds, light fixtures, canopies, and balconies.

Awning. An angled or horizontal projection that extends from a building or structure to provide protection from the sun, rain, or other weather elements. Decorative awnings project from the building in the same manner but may be for aesthetic, not functional, purposes.



Balcony, Juliette (or Juliet). A faux balcony; a low ornamental railing to a window, projecting only slightly beyond the plane of the window, threshold, or sill and having the appearance of a balcony when the window is fully open.



Baluster. A small column, shaft, or other vertical member commonly used in a balustrade to support a top rail or coping.



Bay. A space or section of a building defined by structural elements like columns, piers, or walls, or a portion of a building that projects outward from the main façade.

Belt course. A horizontal band of wood or masonry that projects slightly from the wall, often used to visually delineate different levels or stories of a building.



Board and batten. A form of sheathing for wood frame buildings consisting of wide boards, usually placed vertically, whose joints are covered by narrow strips of wood over joints or cracks.

Bracket. A projection from a vertical surface providing structural or visual support under cornices, balconies, windows, or any other overhanging member.



Build to Line (BTL). A line parallel to the street right-of-way, that defines the minimum or maximum setback for a building's façade, ensuring buildings are placed at a consistent distance from the street.



Bulkhead wall. The area of the storefront between the sidewalk and the base of the display window.



California Native Species. Plant species which originate from California through natural evolution, and whose presence was not brought by human activity. Native species are adapted to the local climate, soil, and hydrology.

Cladding. Building cladding is the application of one material over another to add an extra skin or layer to the building. Commonly used exterior wall cladding materials include brick, vinyl, wood, stone, fiber cements, metal, concrete, and stucco.

Column. A vertical shaft extending from the ground or from one part of the structure to another.



Corbel. A structural piece of stone, wood, or metal jutting from a wall to carry a super-incumbent weight; a type of bracket.



Corner element. An architectural feature at the corner of a building, often taking the form of unique window treatment or other building elements that is not present at other locations on the building.



Cornice. A horizontal molding projecting along the top of a wall, building, etc.



Cornice return (eave return). Also called an eave return, a cornice return is a way to transition the eave and the main fascia board around the gable end of a house.



Dentils. A small, rectangular block used as a repeating ornament, typically found in a series forming a molding, often below a cornice or roofline, resembling a row of teeth.



Distance Between Entries. The horizontal distance between entrances to a building or buildings, measured parallel to the façade.

Divided lite: Individual panes of glass held in place by wood or synthetic material to create a pattern.



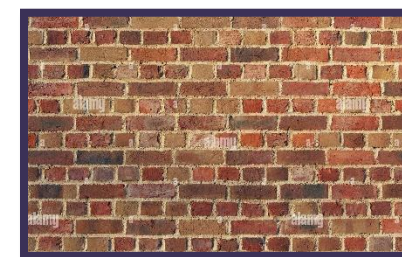
Eave, closed. Eaves with projecting roof members closed from view by boarding.



Eave, open. Overhanging eaves where the rafters are exposed at the eaves and visible from below.



English bond brick pattern. A traditional pattern where alternating courses (rows) of bricks are laid with either the long side (stretcher) or the short end (header) facing outward.



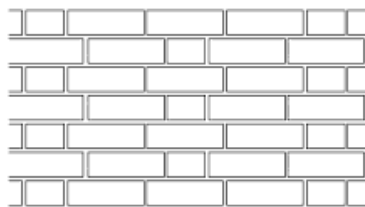
Exterior Insulation and Finish System (EIFS). A non load-bearing, exterior wall cladding system that provides insulation and a finished, water-resistant surface.

Façade. The exterior wall of a building adjacent to a lot line/design site line.

Fiber cement. A composite building material made of cement reinforced with cellulose fibers, often used as a low-maintenance alternative to wood.

Flemish bond brick pattern.

A traditional pattern where stretchers and headers are laid alternately in a single course.



Frontage. The building façade abutting a street or public open space.

Gable. A roof form that slopes downward in two opposite directions from a central ridge.



Glazing. Openings in a building in which glass is installed.

Green wall (or living façade).

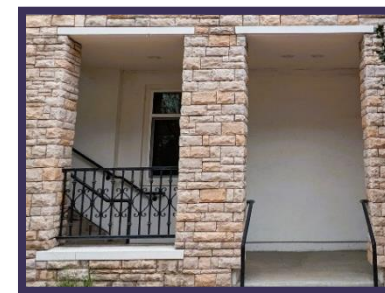
When plants are grown on or against a vertical surface, often a building wall, using a specialized growth medium and irrigation system.



Ground Floor Activation. When buildings provide street facing, publicly accessible, ground floor tenant spaces to support commercial, office, and/or recreational uses on all street-facing building facades. Ground floors shall not contain residential living units but may provide ground floor spaces for various private residential services and amenities, primarily on non-street facing building facades.

Invasive plant species. Species of plants not historically found in California that spread outside cultivated areas and can also damage environmental or economic resources. Invasive species may be regulated by county agricultural agencies as noxious species. Lists of invasive plants are maintained at the California Invasive Plant Council Inventory and USDA invasive and noxious weeds database.

Lintel. A horizontal member designed to support the wall above it, such as above an opening.



Modillions. An ornamental, horizontal bracket or console, typically found in series beneath a cornice. More horizontal in shape and smaller than a corbel.



Mullion. Horizontal or vertical bar providing structural support between windows.

Muntin. Pieces of non-glazing material to secure multiple panes of glass, or lites, within a window. Muntins serve to articulate glazing divisions.



Parapet wall. A low wall along the edge of a roof or the portion of a wall that extends above the roof line.



Pediment. A triangular or arched element above the lintel or entablature of a door or window.

Pilaster. A column engaged to and projecting from a wall.



Pitch. The slope of a roof expressed as vertical rise per measure of length.

Pollinators (plant species). Pollinator plants are plants that provide nectar and/or pollen to pollinators such as bees, butterflies, hummingbirds, and other animals, thereby attracting and supporting those pollinators.

Porte cochere. A covered entrance large enough for vehicles to pass through, that opens into a courtyard or parking area.



Primary material. The main materials that form the structural components, foundation, and envelope of a building. Primary materials often comprise 75% or more of a building's façade.

Primary street. The main road, street, or arterial route that serves a project site.

Rafter tails. The portion of the rafter that hangs over the wall and is visible on the exterior of the building.



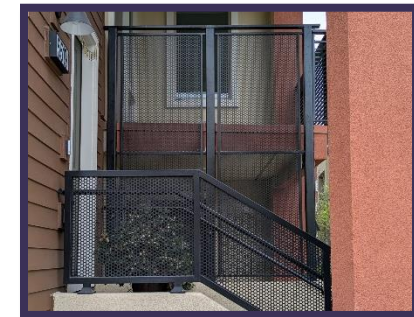
Railing, horizontal.



Railing, panel.



Railing, mesh (perforated).



Recessed entry. An entrance to a building that is set back from the façade of the building.

Roof plane. The surface of the roof. It could be flat, pitched, or on an angle.

Roof, gabled. A roof having a gable at one or both ends; a roof sloping downward in two opposite directions from a central ridge, forming a gable at each end.



Roof, hipped. A roof that slopes upward from all four sides of a building, requiring a hip rafter at each corner.



Sash. The movable part of a window made of the frame that holds the glass.

Shingle. A small thin piece of building material often with one end thicker than the other for laying in overlapping rows as a covering for the roof or sides of a building.



Shopfront (Storefront). The majority portion of a shopfront frontage that consists of the display window or entrance and its components, including windows, doors, transoms, and sill pane.

Shutter. Each of a pair of hinged panels, often louvered, fixed inside or outside a window that can be closed for security or privacy or to keep out light.

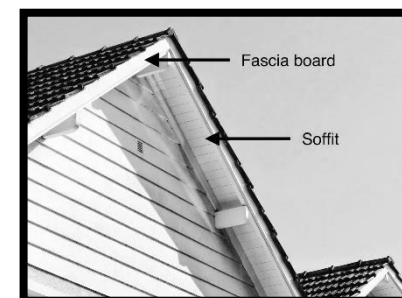
Sidelight. A glazed panel at the side of a doorway.



Sill. The horizontal exterior member at the bottom of a window or door opening, usually sloped away from the bottom of the window or door for drainage of water and overhanging the wall below.



Soffit. The underside of a roof overhang (eave) or any architectural structure like archways, balconies, or staircases, typically covering the exposed underside of rafters or other structural elements.



Soldier course (or sailor course). A row of bricks laid vertically with their narrow edge exposed, often used for decorative or accent purposes, like around door or window openings.



Trim. A narrow strip of wood, moulding, or other material as a surface decoration or the covering for joints and seams between building structure and window and door openings, or at wall edges.

Wainscot. A style of wall paneling, typically made of wood, brick, or stone, that covers the lower portion of a wall.



Wall plane. A vertical surface defined by the façades of buildings.

Window, accent. A window typically smaller in its dimensions and occurring less frequently than a typical window.



Window, awning. A window with one or more sashes hinged horizontally along the top rail.



Window, bay. A window space projecting outward from the main walls of a building and forming a bay in a room. Typically consists of a central windowpane (fixed sash), flanked by two or more smaller windows that can be a fixed pane or operable.



Window, casement. A window with at least one sash hinged to swing open.



Window, double hung. A window with two sashes arranged one above the other, both of which are moveable in the vertical direction.



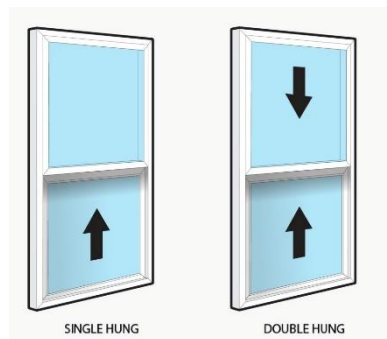
Window, fixed. A window or part of one that cannot be moved or opened.

Window, ganged or grouped. An opening composed of multiple, grouped typical windows, of which one may be a fixed or picture window.



Window, picture. A fixed window designed to take advantage of a view by reducing visual obstruction. Picture windows do not have glazing division.

Window, single hung. A window with two sashes arranged one above the other, one of which is moveable in the vertical direction.



Window, transom. A transom window is used above another window or entry door but can't open. They are usually as wide as the window or door (or as wide as the door and the sidelights). They can be square (rectangular), round top, or elliptical.



Window, typical. A regular recurring window (i.e., size or lite pattern) on a façade.

Wing wall. A smaller wall attached or next to a larger wall or structure.

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